



City of Charleston

Board of Architectural Review-SMALL

February 8, 2018

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

18 North Hampstead Square

Request after-the-fact approval for partial demolition of two walls at the rear.

Not Rated / East Side / pre-1902 / Old City District

.



Hampstead Existing Rear Elevation



Hampstead Left Side Toward Rear 50 sft
020818.JPG



Hampstead Existing Left rear Side
020818.JPG



Hampstead Right Side 020818.JPG



Hampstead Right Side 020818 (2).JPG



Hampstead Left Side 020818.JPG



Hampstead Left Side 020818 (2).JPG



Hampstead Front 020818.JPG



Hampstead Shows Right Rear Corner & Existing Rafter, Pitch Length did Not change
020818.JPG



Hampstead Right Rear corner & Rear Wall 020818.JPG



Hampstead Right Rear Corner & Rear Wall 020818 (2).JPG



Hampstead Rear & Right Rear Side
020818.JPG



Hampstead Right Rear Side
020818.JPG



Hampstead View Across Back Existing Steps
020818.JPG



Hampstead View Across Back Existing Steps 020818
(2).JPG



Hampstead View Across back Showing Original Window Placement 020818.JPG



Hampstead Shows Flush On Side 020818.JPG



Hampstead Rear Elevation 020818.JPG



Hampstead Left Rear Side 020818.JPG



Hampstead Left Rear Side 020818
(2).JPG



Hampstead Rear Elevation

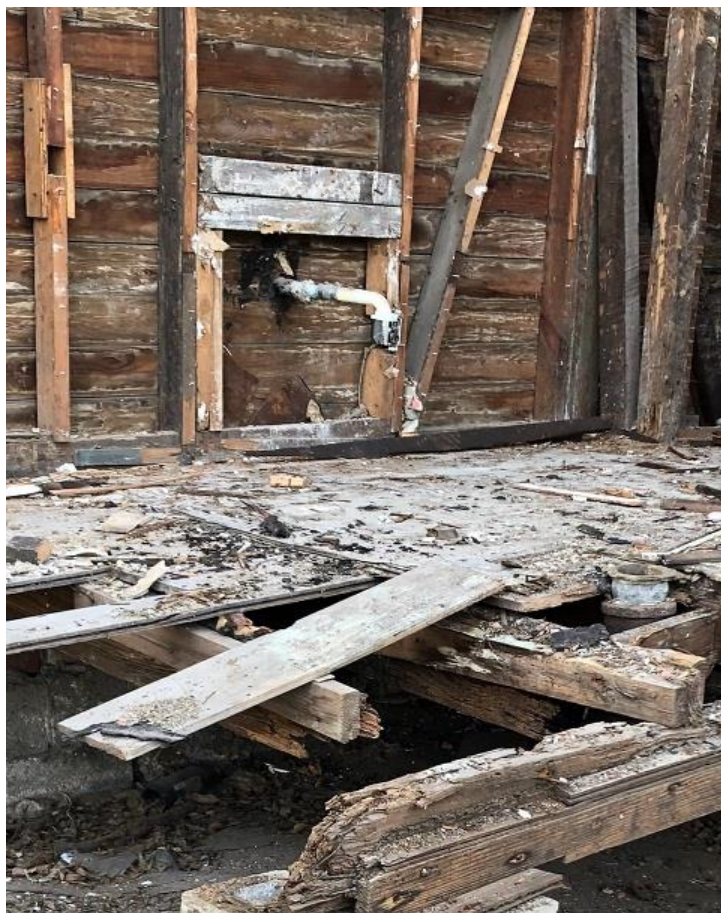




Hampstead Rear
Elevation



Hampstead Rear Elevation



Hampstead Rear Elevation



Hampstead Rear Elevation



Hampstead Rear
Elevation



Hampstead Rear Elevation



Hampstead Right Side Middle



Hampstead Right Side Towards Front 30sft



Hampstead Under Front
Porch



Hampstead Rear Middle 6sft
020818.JPG



Hampstead 20sft front right corner



Hampstead 40sft left side near front
porch



Hampstead Front Right Side 10sft



Hampstead Left Side Towards Rear



Hampstead Right Side 20sft



Hampstead Window Sill Left Side Towards
Porch

Agenda Item 2:

119 Alexander Street – TMS#459-13-01-085

Request preliminary approval for renovation of existing residence.

Not Rated / Mazyck-Wraggborough / c.1928-1944 /

Old and Historic District



Private Residence

119 Alexander Street, Charleston



Architectural Drawing Index

C300	SITE PLAN
C301	UPDATED SURVEY
A301	EXISTING CONDITIONS PHOTOS
A302	EXISTING & PROPOSED FOUNDATION PLANS
E301	EXISTING CONDITIONS - FIRST FLOOR PLAN
A301	PROPOSED FIRST FLOOR PLANS
A302	EXISTING & PROPOSED ROOF PLANS
A303	NORTH & EAST ELEVATIONS
A304	SOUTH & WEST ELEVATIONS
A305	BOUNDARY SECTION, WALL SECTION SCREEN SYSTEM & WINDOW DETAILS
A306	COLOR RENDERING EAST ELEVATION

LOT INFORMATION	
Municipality:	Charleston
Base Flood Elevation:	AE-17
Design Flood Elevation:	AE-17
TMS #:	439-13-01-001
Plot Book Page:	O-407
Form Used:	ARHC-R116J November 17, 2004
County Name:	Charleston
Address:	119 Alexander Street Charleston, South Carolina

ZONING INFORMATION	
Zoning District:	UO-17
Minimum Lot Area per 1-Ym ² :	4,800 of 1,300 of
Maximum of Lot Occupied by Building:	75%
Existing Lot Coverage:	45%
Proposed Lot Coverage:	75% (per to sheet C100 for area calculations)
Setbacks:	
Front:	25 ft.
Side:	25 ft.
Total Side:	25 ft.
Side:	25 ft.

CODE APPLICABILITY	
1. This construction has been designed using the following building codes and standards:	
	• International Residential Code 2015
2. All Work to be in accordance with current applicable codes and standards.	

Architects

Sandlapper Design Group, LLC.
Sullivan's Island, SC
(843) 882-8067

Structural Engineer

Stephen S. Caskie, PE, LLC
Sullivan's Island, SC
(843) 814-5198

General Contractor

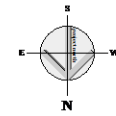
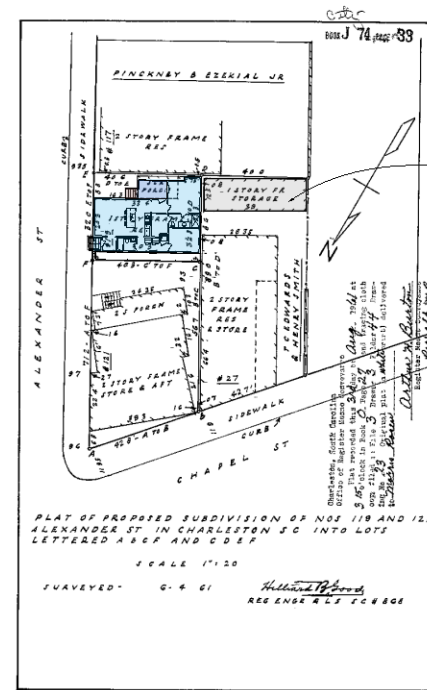
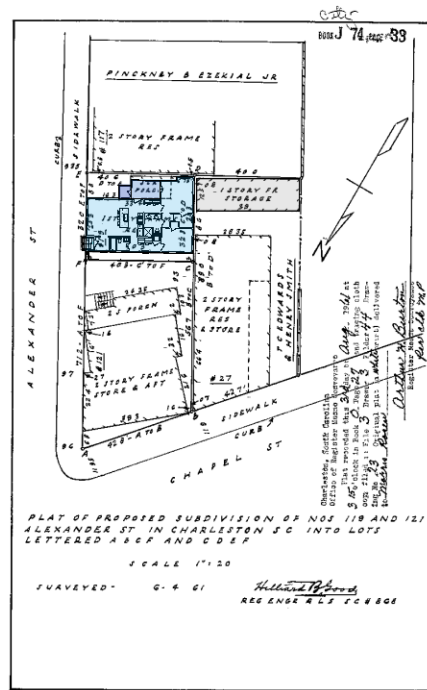
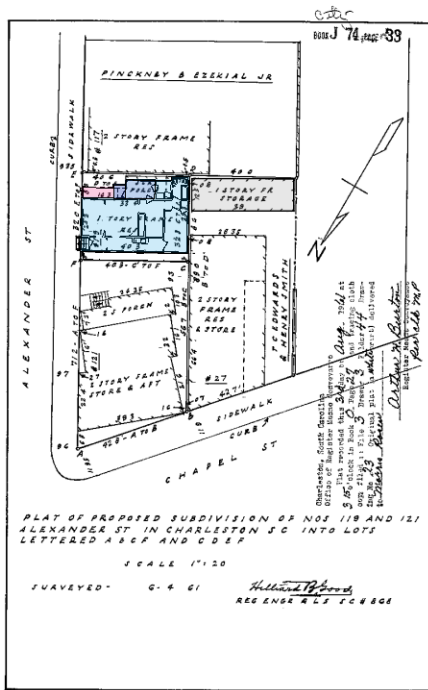
CB Elrod Company, LLC
North Charleston, SC
(843) 556-1743

No.	Issued For	Date
1	Conceptual BAR Submit	11/20/17
2	BAR-2 Submit	1/9/18
3	Preliminary BAR Submit	1/25/18
4		

Private Residence	
119 Alexander Street	
Charleston, SC	

SANDLAPPER DESIGN GROUP, LLC	
811 S. HIGGINS BLVD., SUITE 100, CHARLESTON, SC 29405	
TEL: 843-882-8067 FAX: 843-882-8068	
WWW.SANDLAPPERDESIGNGROUP.COM	

Plot Date	1/25/18
Revised Date	
Drawn	JAS
Checking Title	
Title	Sheet
Plotting Date	T001



Note:
This neighboring structure has since been demolished.

No.	Issued For	Date
1	Conceptual BAR Submittal	11/20/17
2	BAR-2 Submittal	1/9/18
3	Preliminary BAR Submittal	1/25/18
4		

Private Residence	
119 Alexander Street	
Charleston, SC	

SANDLAPPER DESIGN GROUP, LLC	
BRIAN HILLMAN, OWNER'S NAME NO. 1148	
1/25/18-12/17	

Plot Date	1/25/18
Project Name	
Owner	JAS
Architect Title	
Site Plan	
Plotting No.	C100

Existing Site Plan

House Footprint:	912 SF
Screen Porch:	76 SF
Ramp & Landings:	25 SF *
Total Lot Coverage:	1011 SF
Area of Lot:	1312 SF
1005 SF / 1312 SF =	77%

*Note: portions of existing ramp are within 36" of grade and were not counted towards lot coverage.

Proposed Site Plan

House Footprint:	912 SF
Screen Porch:	76 SF
Open Deck (terrace or landing):	25 SF
Total Lot Coverage:	1011 SF
Area of Lot:	1312 SF
1011 SF / 1312 SF =	77%

Proposed Site Plan

House Footprint:	912 SF
Screen Porch:	76 SF
New Slab from Porch:	45 SF **
Total Lot Coverage:	992 SF
Area of Lot:	1312 SF
992 SF / 1312 SF =	76%

**Note: portions of new slab are within 36" of grade and were not counted towards lot coverage.

General Note:
Area calculations have been updated since BAR. Core spatial Review to reflect updated survey information and the SZA's lot coverage definitions.



EAST ELEVATION FACING ALEXANDER ST.



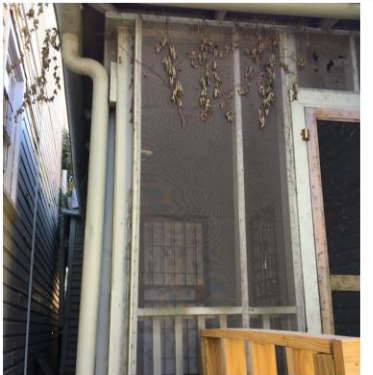
EAST AND NORTH ELEVATION SHOWING 2/2 WINDOWS ON NORTH ELEVATION



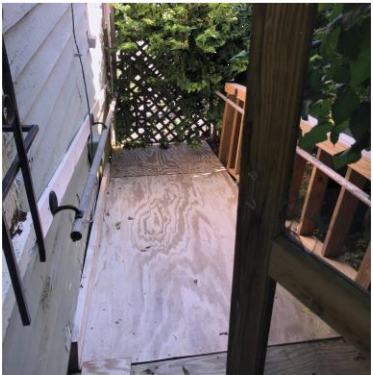
SOUTH ELEVATION SHOWING 2/2 WINDOWS



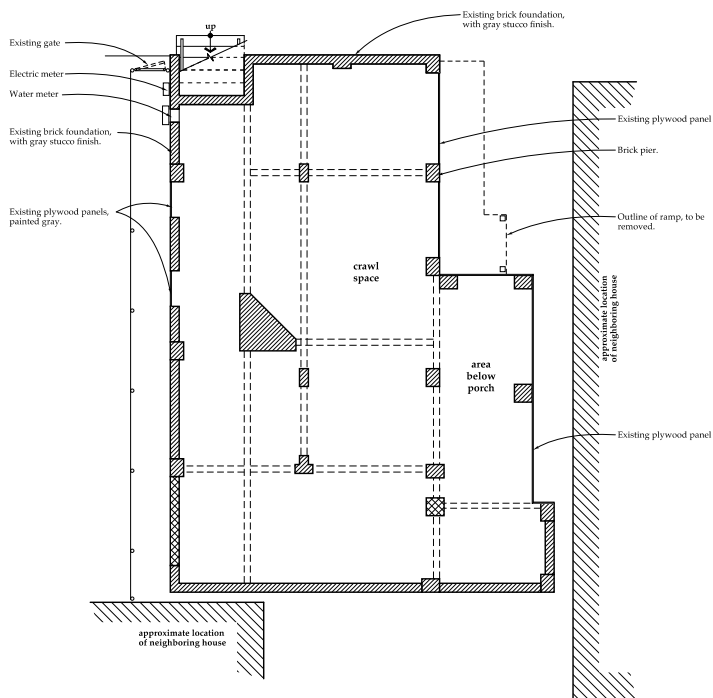
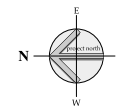
EAST ELEVATION FACING ALEXANDER ST.



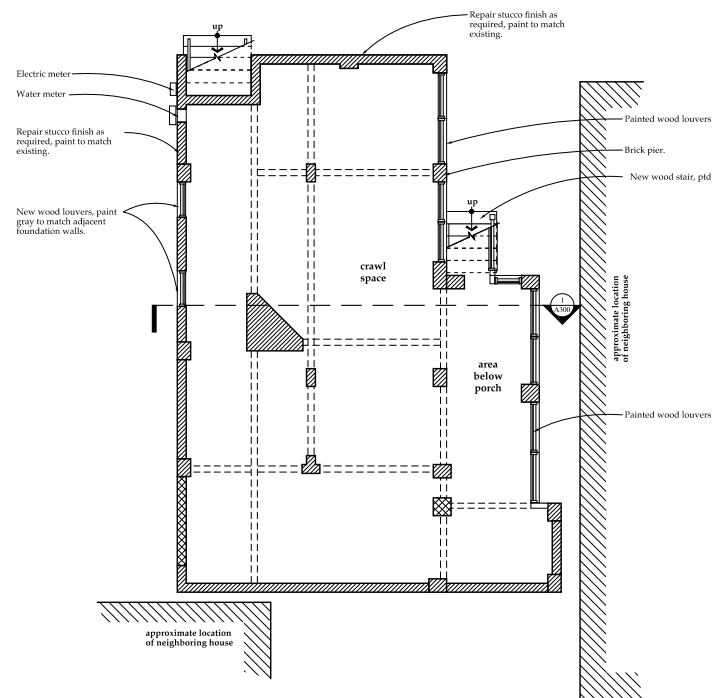
EXISTING SCREEN SYSTEM



EXISTING RAMP



1 Existing Foundation Plan
Scale: 1/4" = 1'-0"



2 Proposed Foundation Plan
Scale: 1/4" = 1'-0"

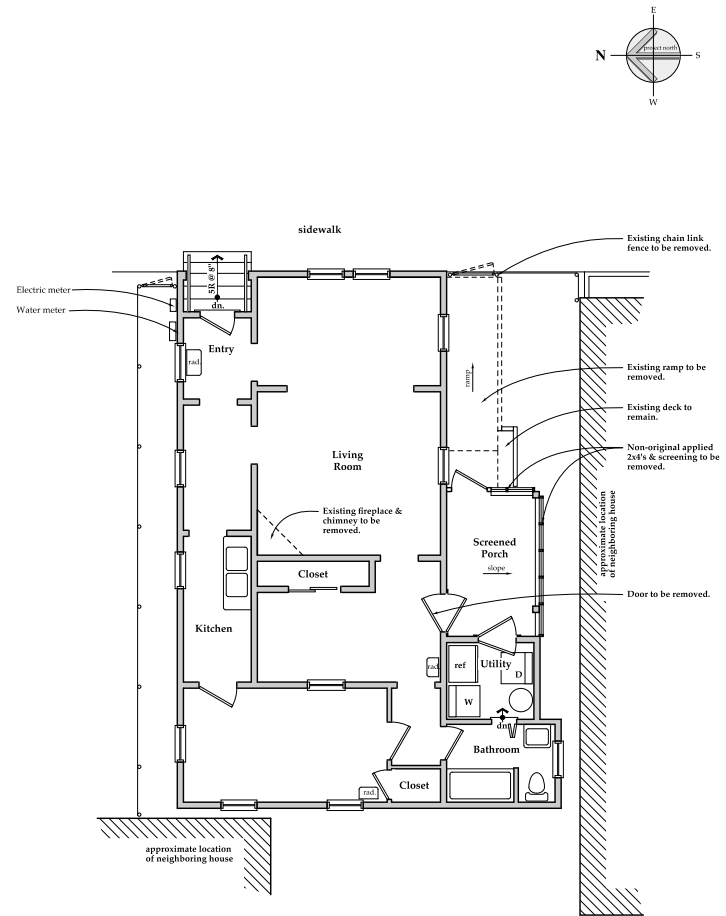
No.	Issued For	Date
1	Conceptual BAR Submittal	11/30/17
2	BZA-Z Submittal	1/5/18
3	Preliminary BAR Submittal	1/25/18
4		

Private Residence
119 Alexander Street
Charleston, SC



Plot Date:	1/25/18
Project No.:	
Drawn:	JAS
Drawing Title:	Foundation Level Plans
Drawing No.:	A100

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1 Existing Conditions: First Floor Plan
Scale: 1/4" = 1'-0"

No.	Issued For	Date
1	Conceptual BAR Submittal	11/30/17
2	BZA-Z Submittal	1/5/18
3	Preliminary BAR Submittal	1/25/18
4		

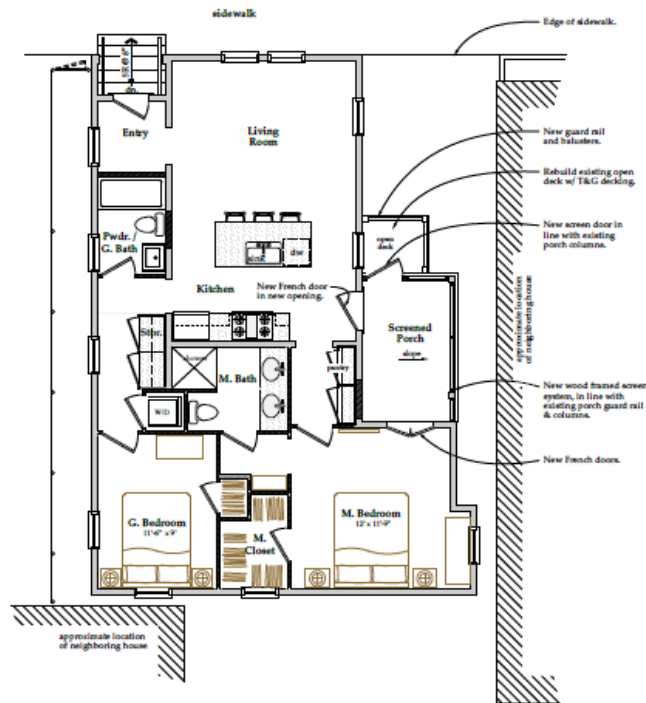
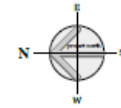
Private Residence	
119 Alexander Street	
Charleston, SC	

2214 Middle Rd., 4th floor, Suite 202, 29402 Charleston, SC 29402 (843) 582-2007 www.sandlapperdesign.com	

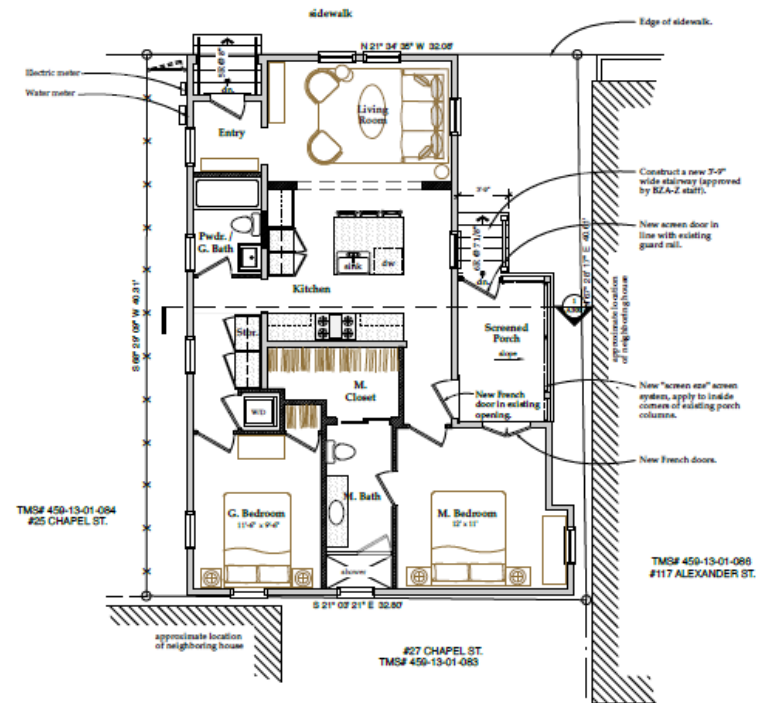
Plot Date:	1/25/18
Project No.:	
Drawn:	JAS
Checking Title:	
Existing First Floor Plan	
Drawing No.:	EC101

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Architectural site plans are based upon original survey information provided by John E. Wade Jr. R.L.S., dated December 10, 2017. (Refer to sheet C300 for Survey.)

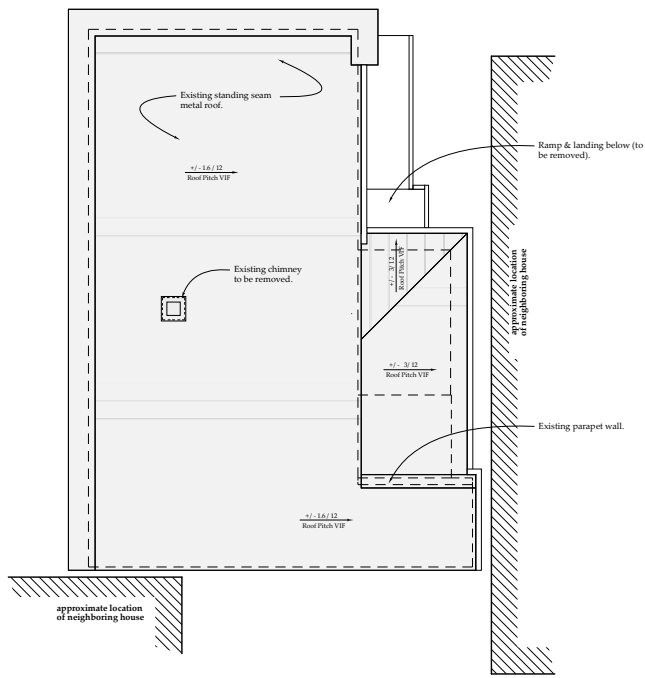
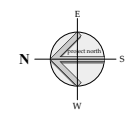


1 Conceptual Review: Proposed First Floor Plan
Scale: 1/4" = 1'-0"

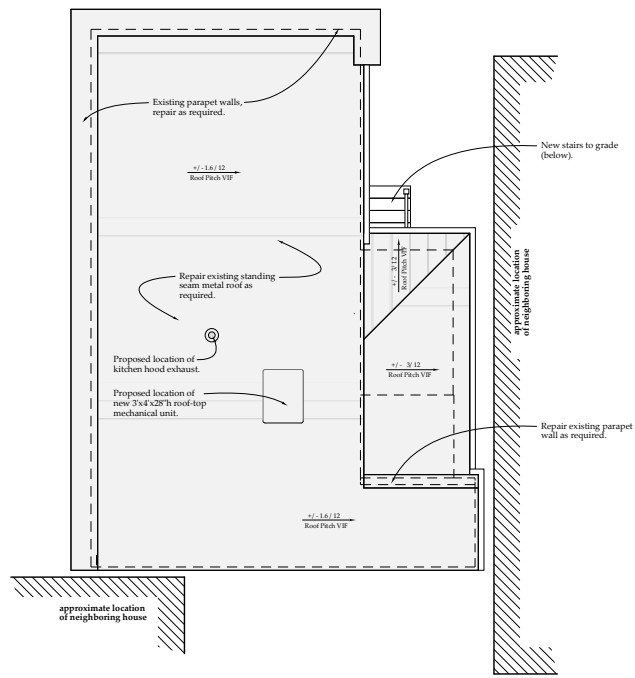


2 Preliminary Review: Proposed First Floor Plan
Scale: 1/4" = 1'-0"

Draw	Issued For	Notes
1/25/18	Conceptual IAS Submittal	
2/5/18	R2A-2 Submittal	
1/25/18	Preliminary IAS Submittal	
4		
Private Residence 119 Alexander Street Charlotte, NC		
SANDLAPPER DESIGN GROUP LLC 215 14th St., Suite 100, Charlotte, NC 28202 (704) 442-4007 sandlapperdesign.com		
Plot Date	1/25/18	
Project No.		
Drawn	JAS	
Printing Title	First Floor Plan	
Printing No.	A101	



1 Existing Roof Plan
Scale 1/4" = 1'-0"



2 Proposed Roof Plan
Scale 1/4" = 1'-0"

No.	Issued For	Date
1	Conceptual BAR Submittal	11/30/17
2	BZA-Z Submittal	1/5/18
3	Preliminary BAR Submittal	1/25/18
4		

Private Residence
119 Alexander Street
Charleston, SC

First Date

1/25/18

Project No.

Drawn

JAS

Clearing Title

Roof Plan

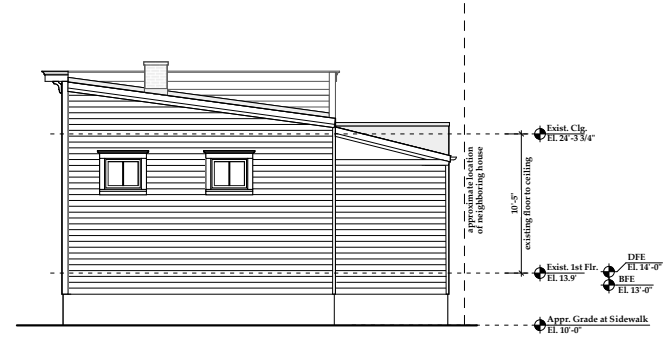
Drawing No.

A102

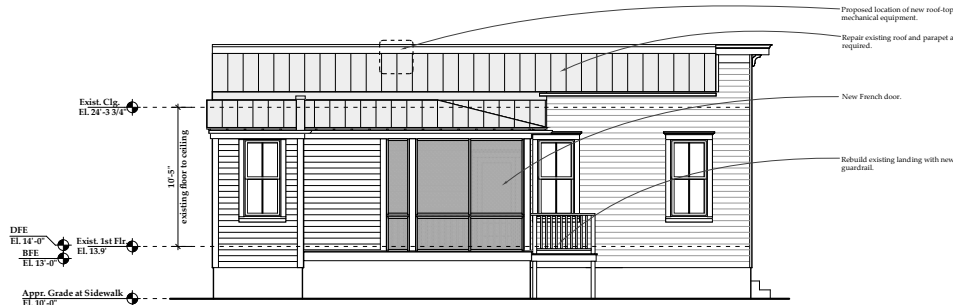
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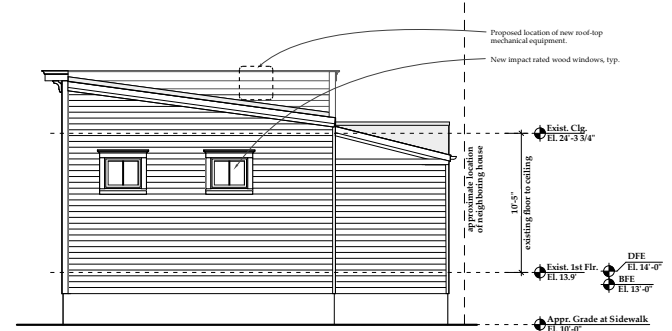
1 Existing Side Elevation (South)
Scale: 1/4" = 1'-0"



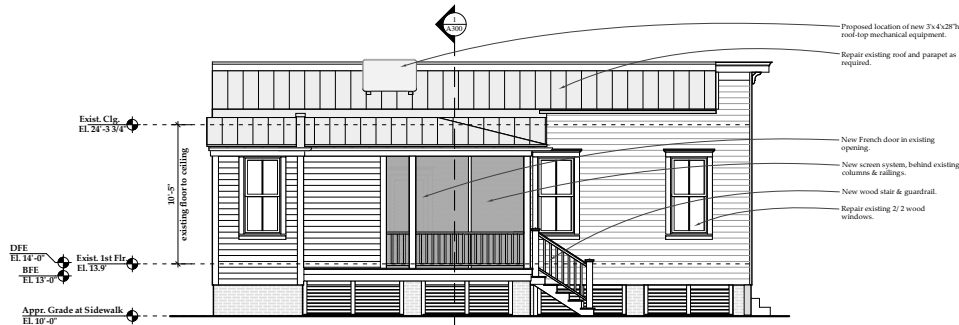
2 Existing Rear Elevation (West)
Scale: 1/4" = 1'-0"
(not visible from a public way)



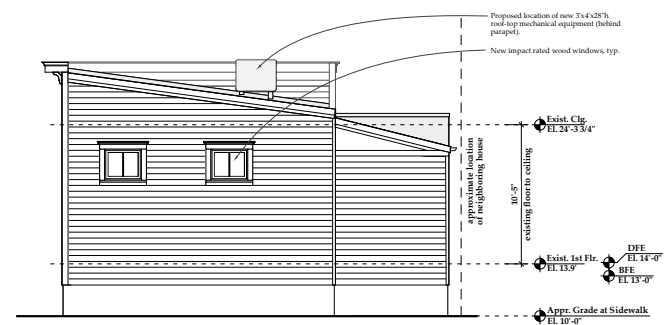
3 Conceptual Review: Proposed Side Elevation (South)
Scale: 1/4" = 1'-0"



4 Conceptual Review: Proposed Rear Elevation (West)
Scale: 1/4" = 1'-0"
(not visible from a public way)



5 Preliminary Review: Proposed Side Elevation (South)
Scale: 1/4" = 1'-0"



6 Preliminary Review: Proposed Rear Elevation (West)
Scale: 1/4" = 1'-0"
(not visible from a public way)

No.	Issued For	Date
1	Conceptual RAR Submittal	11/30/17
2	RZA 2 Submittal	1/5/18
3	Preliminary RAR Submittal	1/25/18
4		

Private Residence	
119 Alexander Street	
Charleston, SC	

SANDLAPPER DESIGN GROUP	
224 6th Street N. Suite 200	ASAC
010 182-1817	ms@sandlapper.com

Drawn Date	1/25/18
Project No.	
Drawn	JAS
Drawing Title	South & West Elevations
Drawing No.	A201

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WARRANTY NOTICE: Each screen-protection system is produced and sold for a specific use. "Full-body screen system" model **SCREENGUARD™** per the instructions provided. Do not use **SCREENGUARD™** for any purpose other than securing screen material to a screen enclosure or enclosure. DO NOT USE **SCREENGUARD™** FOR LIFT, PROTECT/STORE. As with the installation of any building product, we strongly recommend the use of trained and/or professional. Refer to your State or Federal Department of Labor for the proper use of screens and accessories needed for the installation of this product. Home improvement retailers or third parties are responsible for injury or damage resulting from the use of **SCREENGUARD™**.

Identify the parts of SCREWDRIVER* (Nitinol is optional)

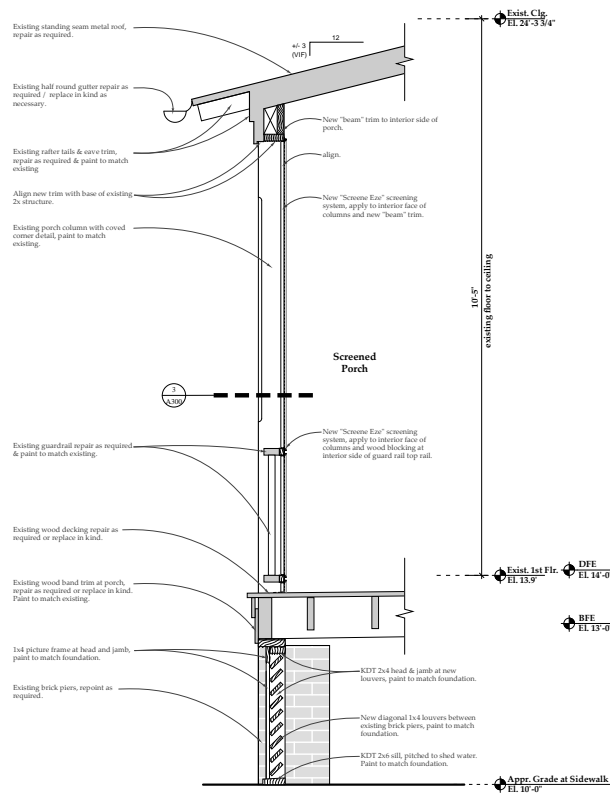


NOTE: If you are going to utilize the optional Plinth Kits (sold separately) to eliminate installing the SCREENZ® covers, if you are going to use the optional Plinth Kits, proceed to **Step 4** for a Plinth Mount Application or **Step 5** for a Corner Mount application.

If you are NOT going to use the optional PSeth Kit for installation, continue with the Traditional SCREENCIZ® Installation Instructions section on Sheet 6 on Page 3.

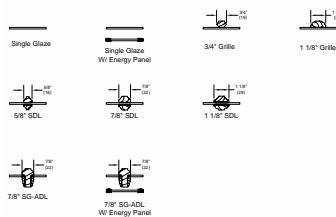
Page 1

5 "Screen Eze" Screening System Installation

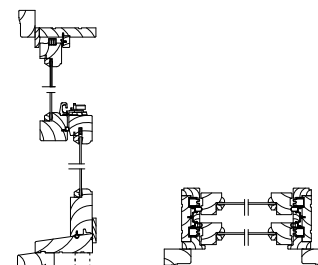


2 Wall Section at Screened Porch
Scale: 1" = 1'-0"

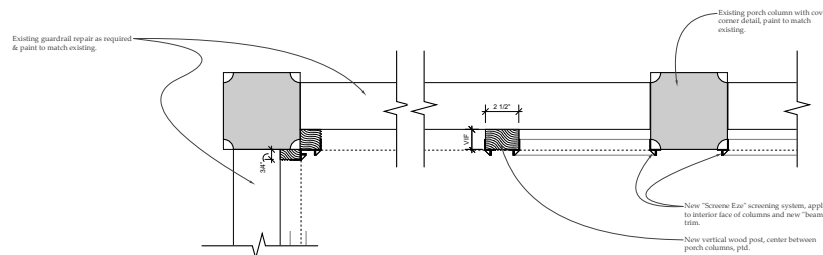
Wood Ultimate Double Hung Collection
Standard Single Glaze Divided Lite Options



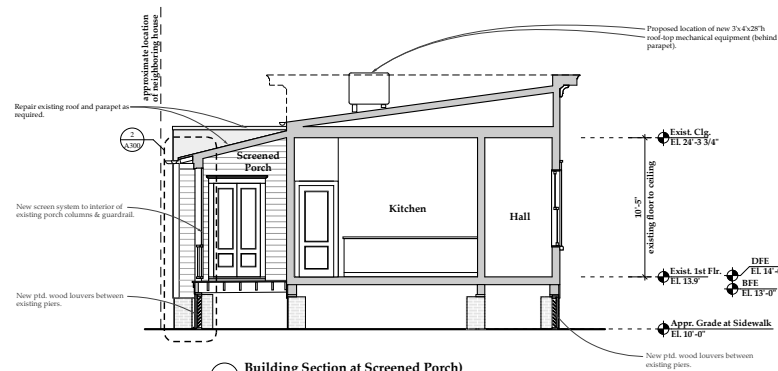
NOTE: Single Glaze and ADL are not available with CE Mark



4 Marvin Single Glazed "ADL" (Authentic Divided Light) Wood Window



3 Plan Details at Screen Porch



1 Building Section at Screened Porch)
Scale: 1/4" = 1'-0"



SAND LAPPER
DESIGN GROUP LLC

274 Main St., Suite 204, SC 29412
(803) 882-1067 sandlapperdesign.com

Project Name: **Building Section & Wall Sections**

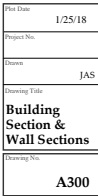
Client: **A300**

Private Residence

119 Alexander Street
Charleston, SC

No.	Issued For	Date
1	Conceptual BAR Submittal	11/20/17
2	BZA-Z Submittal	1/5/18
3	Preliminary BAR Submittal	1/25/18
4		

[illegible]





① Color Rendering : East Elevation
Scale: +/- 1/2" = 1'-0"

No.	Issued For	Date
1	Conceptual IAR Submittal	11/30/17
2	BZA 2 Submittal	1/5/18
3	Preliminary IAR Submittal	1/25/18
4		

Private Residence
119 Alexander Street
Charleston, SC

**SANDLAPPER
DESIGN GROUP** LLC
225 + 6th St. N. Suite 200, St. Petersburg, FL 34602
(813) 882-0487
sandlapperdesign.com

Plan Date: 1/25/18
Project No.:
Drawn:
JAS
Drawing Title:
**Color
Rendering
East Elevation**
Drawing No.:
A500

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Agenda Item 3:

70 Logan Street – TMS# 457-12-02-028

Request final approval for revisions to previously-approved project.

Category 4 / Harleston Village / c.1888 / Old and Historic District



Existing North elevation, along Queen Street

Existing South elevation, viewed from Logan Street





Existing West elevation, along Logan Street



Existing North elevation, viewed from Queen Street



View from Logan Street



View of the North parapet wall - photo taken Dec. 14, 2017.



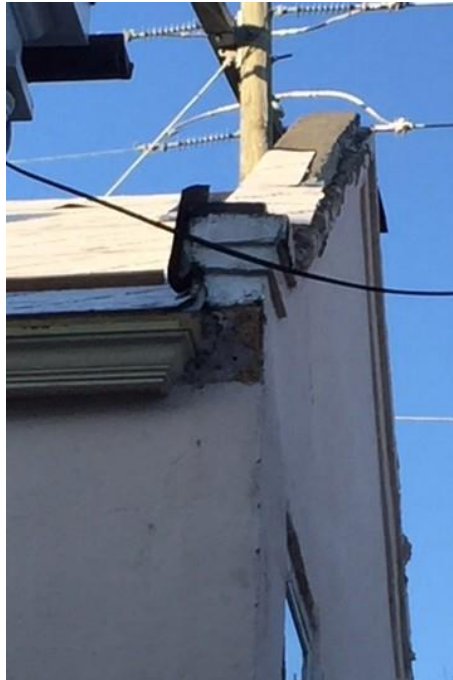
The existing North parapet has a layer of tar over the brick. At the left (West), several loose bricks have been removed, because of the potential to fall on the sidewalk below. Photos taken December 2017.



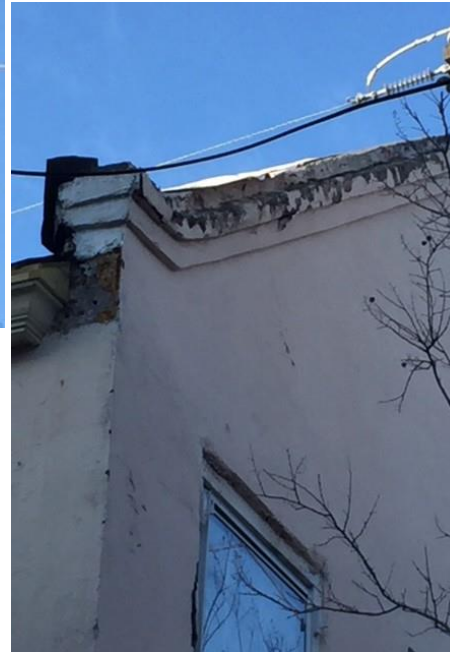


Views of the existing North parapet condition (Westside) and profile of the corbel. Note that several loose bricks have been removed, because of the potential to fall on the sidewalk below. Photos taken December 2017.





Views of the existing North parapet condition (East side) and profile of the corbel. Photos taken December 2017.



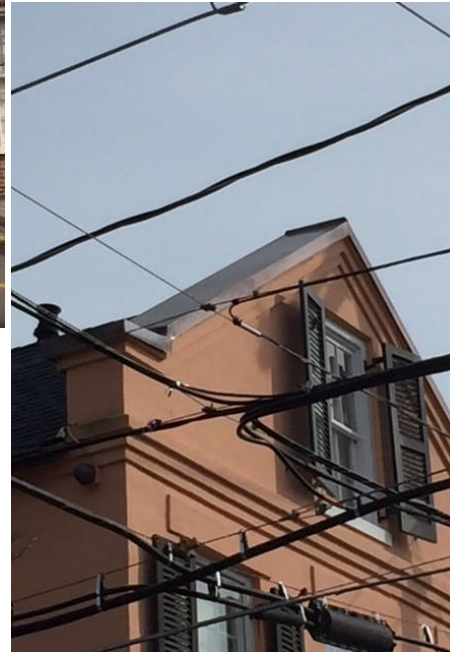
Project: 70 Logan Street

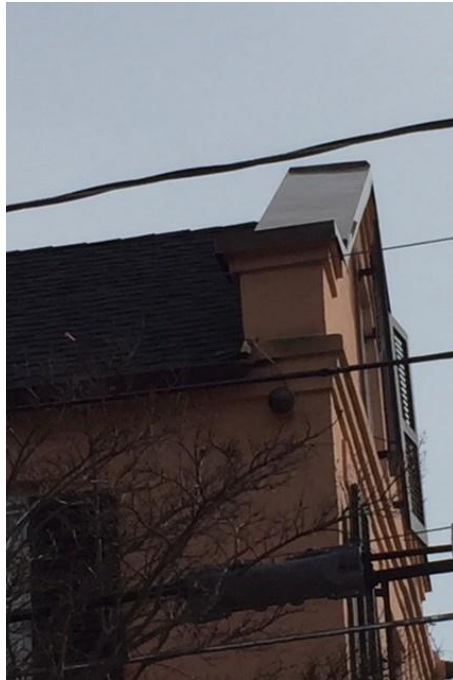
Date: January 23, 2018

Page: 7



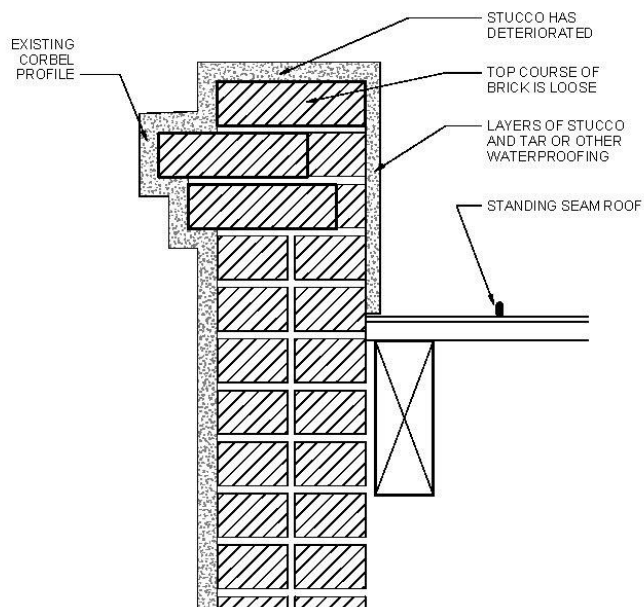
27 1/2 Wentworth is a similar style masonry house, with a copper parapet cap.





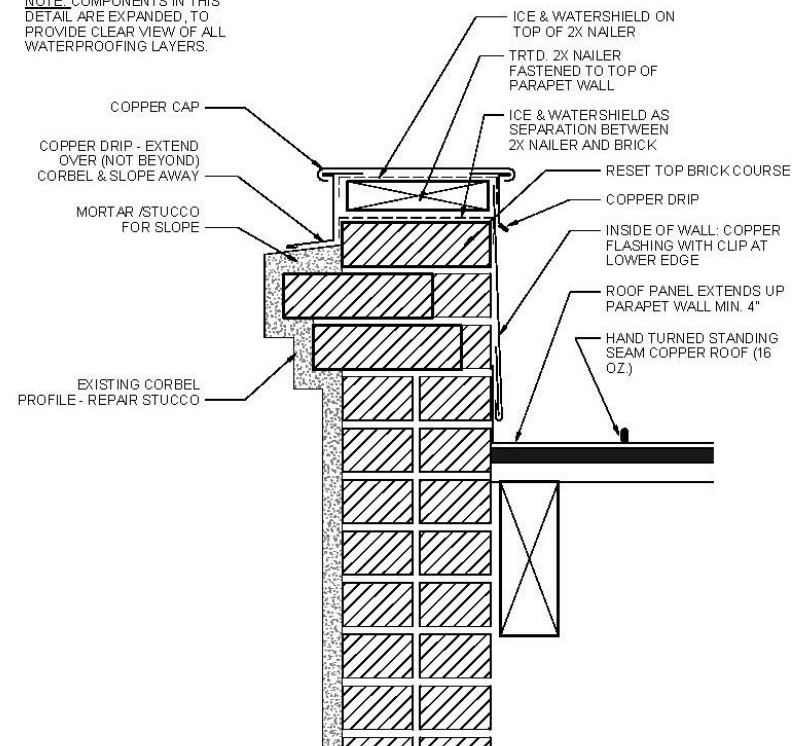
27 1/2 Wentworth is a similar style masonry house, with a copper parapet cap.





2 SECTION DETAIL - COPPER PARAPET CAP (NORTH) - EXISTING
A307 3" = 1'-0"

NOTE: COMPONENTS IN THIS DETAIL ARE EXPANDED, TO PROVIDE CLEAR VIEW OF ALL WATERPROOFING LAYERS.



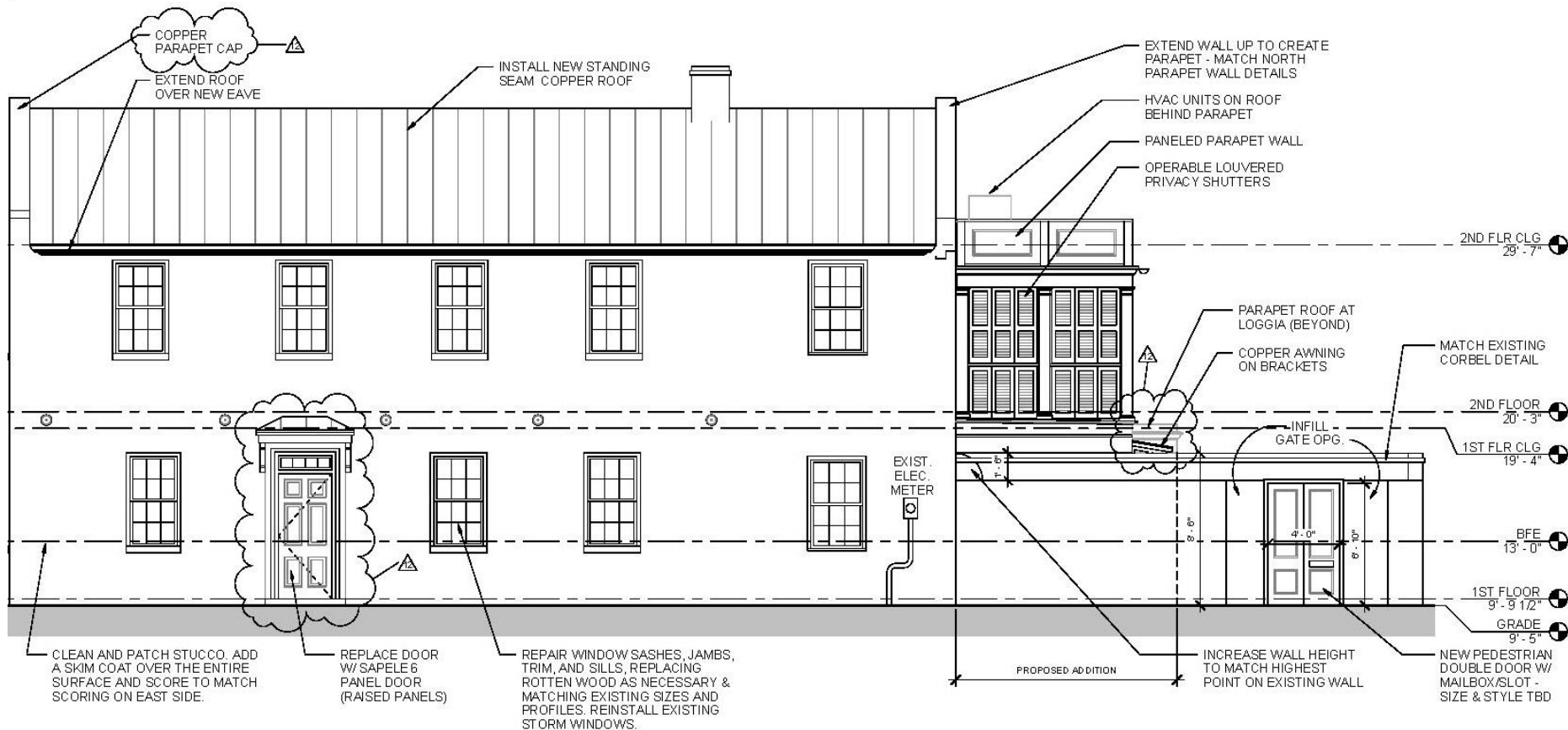
1 SECTION DETAIL - COPPER PARAPET CAP (NORTH) - PROPOSED
A307 3" = 1'-0"



The existing front door was added during the 1977 renovation. Previously, the entry was located at northernmost opening on the west elevation. Prior to that, the entry was on the Queen Street elevation.

The existing door is rotting and not historic. We propose to replace the door only, with a traditional six panel door. The panels at the door jamb will be modified to align with the new door panel heights.



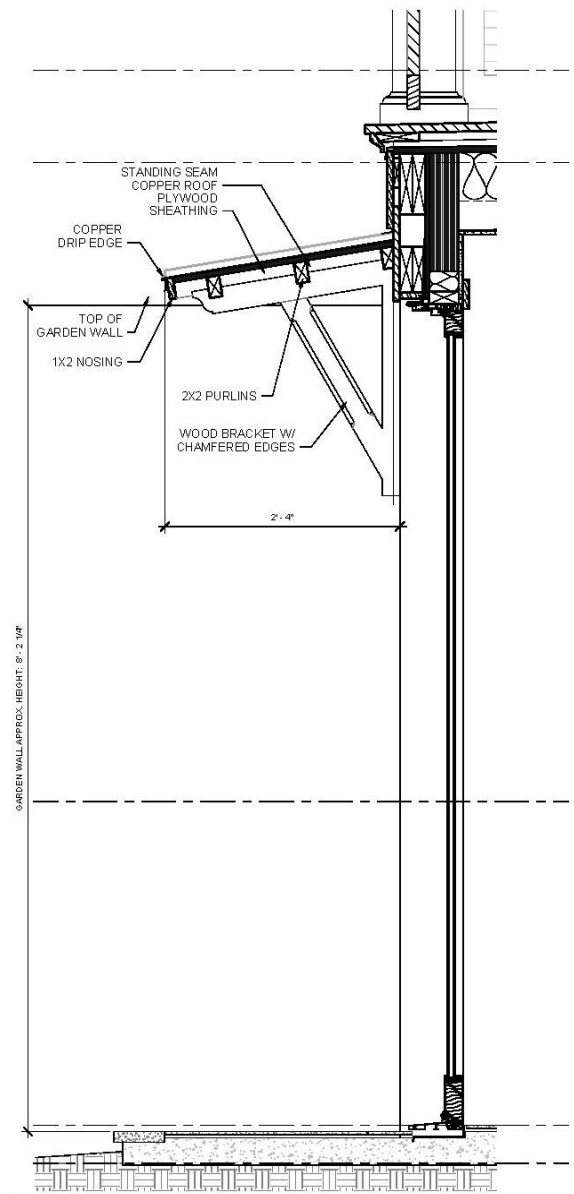
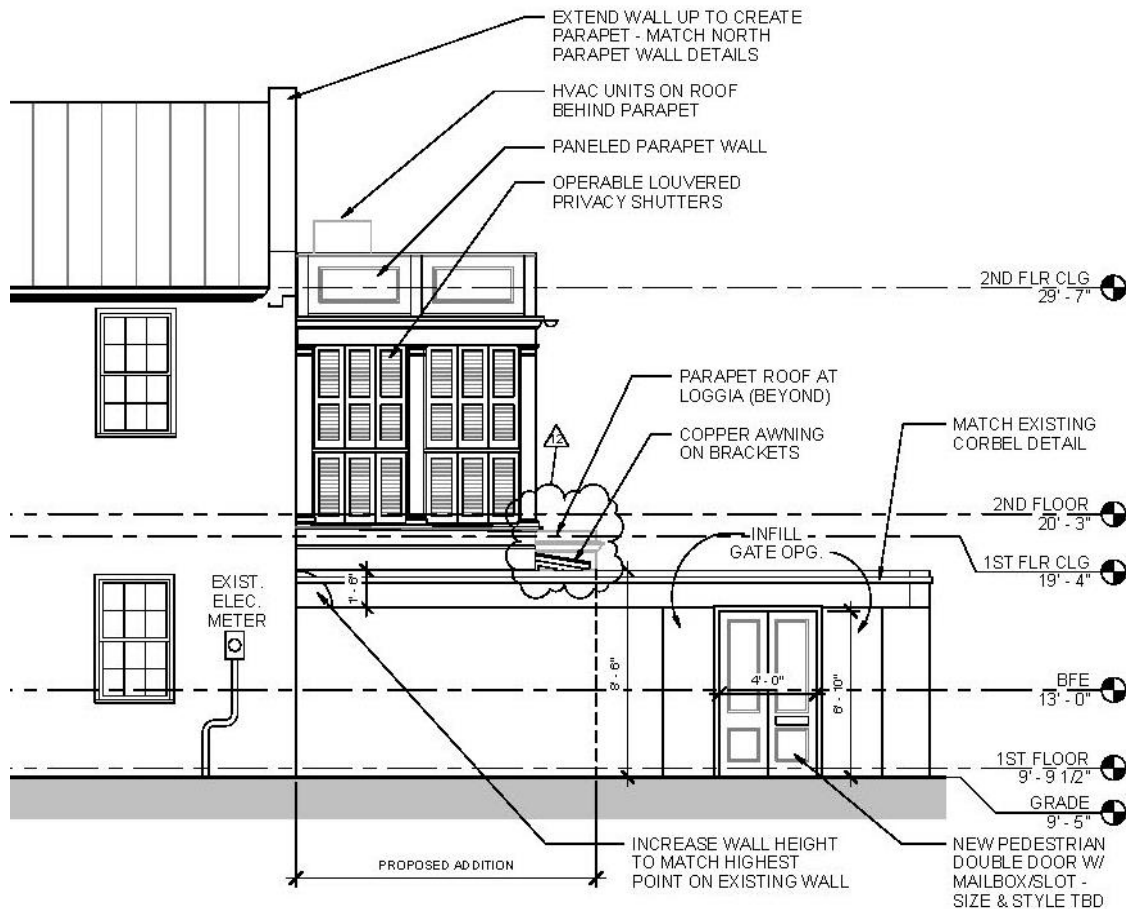




The proposed awning at the south elevation of the addition will be similar to this awning, with a standing seam copper roof and wood brackets.



The proposed color scheme, using SW Duron Colors of Historic Charleston. Actual samples are also being submitted for review.



RENOVATIONS AND ADDITION TO 70 LOGAN STREET CHARLESTON, SOUTH CAROLINA

OWNER
LAWRENCE THOMPSON
70 LOGAN STREET
CHARLESTON SC 29401
843.843.722.0996

ARCHITECT
LAURA ALTMAN
LFA ARCHITECTURE
PO BOX 31225
CHARLESTON SC 29417
843.901.8485

STRUCTURAL ENGINEER
MICHAEL H. HANCE, PE LLC
1133 CLUB TERRACE
MT. PLEASANT SC 29464
843.856.2649

NOTES

- GENERAL INFORMATION
ADDRESS: 70 LOGAN ST.
CHARLESTON SC 29401
TMS: 457-12-02-028
FLOOD ZONE: AE-13
ZONING CLASS.: DR-1F
SITE AREA: 1508 SF
- BUILDING SIZE
EXISTING 1ST FLR HEATED: 843 SF
EXISTING 2ND FLR HEATED: 843 SF
TOTAL EXISTING SF: 1686 SF
PROPOSED 1ST FLOOR ADDITION HEATED: 148 SF
PROPOSED 2ND FLOOR ADDITION HEATED: 0 SF
PROPOSED 1ST FLR HEATED: 991 SF
PROPOSED 2ND FLR HEATED: 843 SF
TOTAL PROPOSED HEATED SF: 1834 SF
*ALL HEATED SF MEASURED TO INTERIOR OF WALLS
EXISTING LOT COVERAGE: 1010 SF (67%)
PROPOSED LOT COVERAGE: 1204 SF (80%)
*ALL LOT COV. MEASURED TO EXTERIOR OF WALLS
- TOPOGRAPHICAL INFORMATION TAKEN FROM
SURVEY DATED SEPTEMBER 2, 2015, BY PALMETTO LAND
SURVEYING INC., 2065 SAVANNAH HWY, SUITE 2,
CHARLESTON SC 29407, 843.571.5191
- SETBACKS (BASED ON THE CITY OF CHARLESTON
ORDINANCE FOR DR-1F):
FRONT/STREET SETBACK: NR
SOUTH / WEST SIDE SETBACK: 9'
NORTH / EAST SIDE SETBACK: 3'
TOTAL SIDE SETBACKS: 15'
REAR SETBACK: 25'
MAX HEIGHT: 50' / 3 STORIES
MAX BLDG COVERAGE: 50%
- CODE: INTERNATIONAL RESIDENTIAL CODE 2015

DRAWING LIST		
NO.	DRAWING NAME	DATE REVISED
A001	PROJECT INFO & SITE PLAN	
A002	FLOOR PLANS - PRESENTATION	
A100	SITE PLANS	
A101	PLANS - FIRST FLOOR	
A102	PLANS - SECOND FLOOR	JAN. 9, 2018
A103	PLANS - ROOF	AUGUST 31, 2017
A151	PLAN DETAILS - KITCHEN	
A201	ELEVATIONS - NORTH & WEST	JAN. 9, 2018
A201	ELEVATIONS - NORTH & WEST	JAN. 9, 2018
A202	ELEVATIONS - SOUTH	JAN. 9, 2018
A203	ELEVATIONS - EAST	AUGUST 31, 2017
A204	PERSPECTIVES	
A204	PERSPECTIVES - SHUTTERS	DEC. 22, 2017
A301	WALL SECTIONS - EAVES	
A302	WALL SECTIONS - SOUTH	
A303	WALL SECTIONS - ADDITION	
A304	WALL SECTIONS - ADDITION	
A305	WALL SECTIONS - ADDITION	NOV. 1, 2017
A306	WALL SECTIONS - ADDITION	
A307	DETAILS - PARAPET & AWNING	JAN. 9, 2018
A503	GUEST BATHROOM DETAILS	
A504	MASTER BATHROOM DETAILS	JAN. 19, 2018
A505	INTERIOR ELEVATIONS - DEN	
A506	TILE DETAILS - KITCHEN	
AE10	LIGHTING PLANS	NOV. 7, 2017
S-1	FOUNDATION PLAN	
S-2	SLAB PLAN	
S-3	2ND FLOOR FRAMING PLAN	
S-4	CEILING / ROOF FRAMING PLAN	
S-5	WALL SECTIONS	
S-6	SECTIONS & DETAILS	
S-7	NOTES & SPECIFICATIONS	

GENERAL SCOPE NOTES

- THIS PROJECT IS GOVERNED BY SOUTH CAROLINA
STATE HISTORIC PRESERVATION OFFICE FOR A TAX
INCENTIVE FOR REHABILITATION OF AN HISTORIC
HOME. SEE APPROVED APPLICATION FOR SPECIFIC
DETAILS.
- BOLD/DARK WALLS INDICATE NEW CONSTRUCTION.
DIMENSIONS ARE TO FACES OF FRAMING AT NEW
WALLS AND TO FINISHED FACES AT EXISTING WALLS,
UNLESS NOTED OTHERWISE.
- CRAWLSPACE TO BE ENCAPSULATED.
- ADD PAN AND DRAIN AT LAUNDRY ROOM.
- PLUMBING NOTES:
A. ADD A WATER PRESSURE BOOSTER PUMP.
B. ALL TOILETS TO BE WALL HUNG.
- ELECTRICAL TO BE UPDATED AS NEEDED TO
PROVIDE ADEQUATE OUTLETS AND TO MEET
CURRENT TV AND COMPUTER NEEDS.
- HARDSCAPE & LANDSCAPE TO BE PERFORMED
UNDER A SEPARATE CONTRACT.

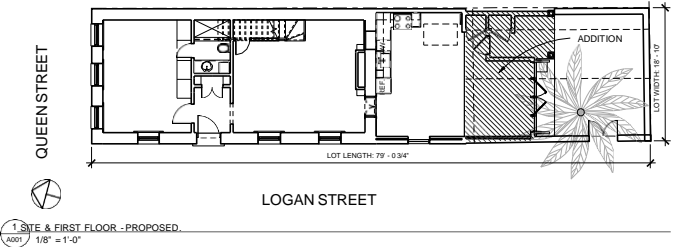
REVISIONS:

70 LOGAN STREET
CHARLESTON, SC

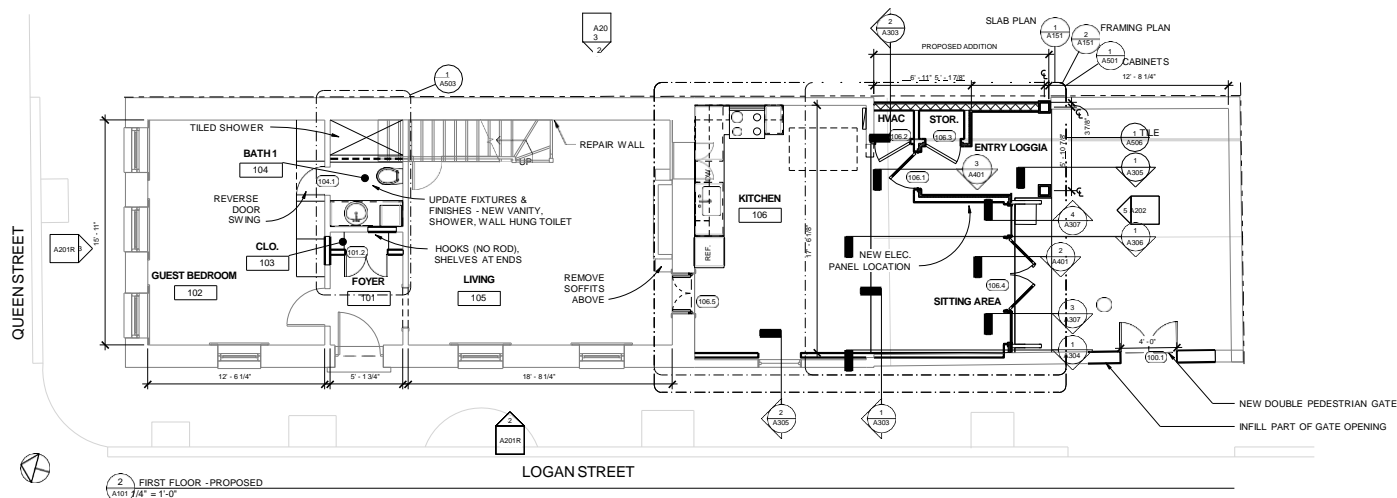
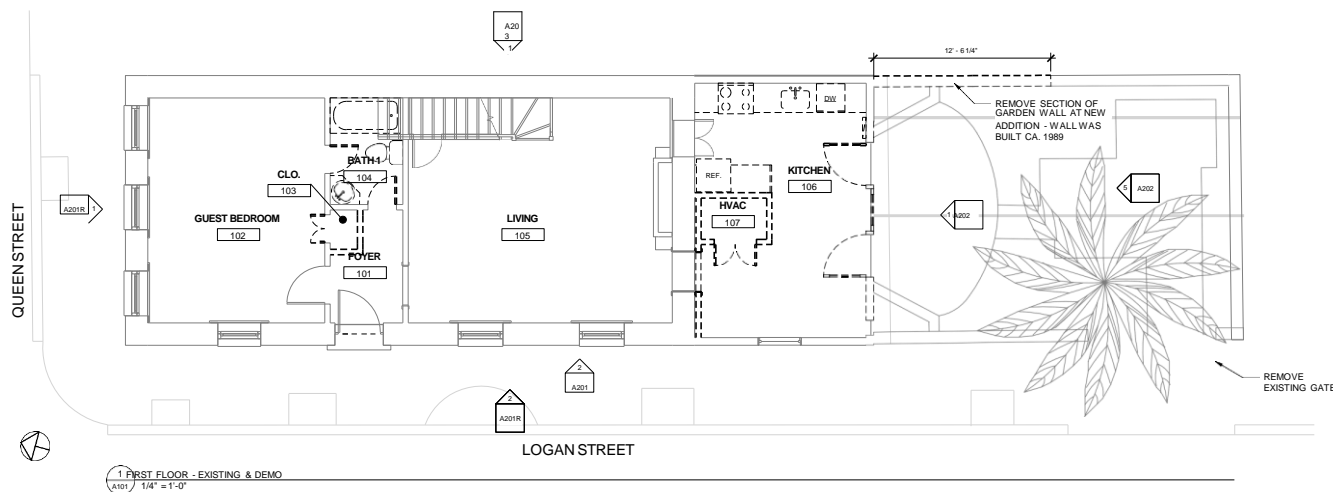
LFA Architecture
PO Box 31225
Charleston SC 29417
843.901.8485
www.lfa-architecture.com

PROJ. NO: 1507
DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8MEETING

PROJECT INFO & SITE
PLAN **A001**



C:\Users\Laura\OneDrive\Documents\1507 Thompson\1507 Drawings\1507 70 Logan_Revision-master bath redesign.rvt
1/23/2018 4:41:21 PM



NOTES ON FLOOR PLANS

1. ALL NEW FRAMING TO BE WOOD 2X4 UNLESS NOTED OTHERWISE.
2. UNLESS OTHERWISE INDICATED, DIMENSIONS ARE TO FACES OF NEW FRAMING MEMBERS AND TO FINISHED SURFACES OF EXISTING WALLS. DIMENSIONS INDICATED BY 'CL' ARE TO CENTERLINES.
3. DOOR OPENINGS SHALL START A MINIMUM OF 6" AWAY FROM ANY ADJACENT WALLS, UNLESS NOTED OTHERWISE.
4. DIMENSIONS FOR INTERIOR DOORS ARE TO FINISHED OPENING, ADD 3" FOR ROUGH OPENING.
5. DIMENSIONS FOR EXTERIOR DOORS AND WINDOWS ARE TO CENTERLINES. REFER TO THE WINDOW SCHEDULE FOR ROUGH OPENINGS AND FRAME SIZES.
6. CEILING HEIGHTS ARE NOMINAL. SUBJECT TO APPROVAL, CEILING HEIGHTS MAY BE VARIED TO SUIT JOB CONDITIONS.
7. PROVIDE ALL BLOCKING AND MISCELLANEOUS FRAMING TO STUDS, FLOOR AND CEILING JOISTS, OTHER AREAS TO RECEIVE FLOORING, GYPSUM BOARD, OTHER FINISH MATERIALS.
8. PROVIDE SOLID BLOCKING FOR LIGHT FIXTURES, TOWEL BARS, TOILET PAPER HOLDERS, OTHER SURFACE MOUNTED FIXTURES AND DEVICES.
9. DIMENSIONS ON LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SMALL SCALE DRAWINGS.

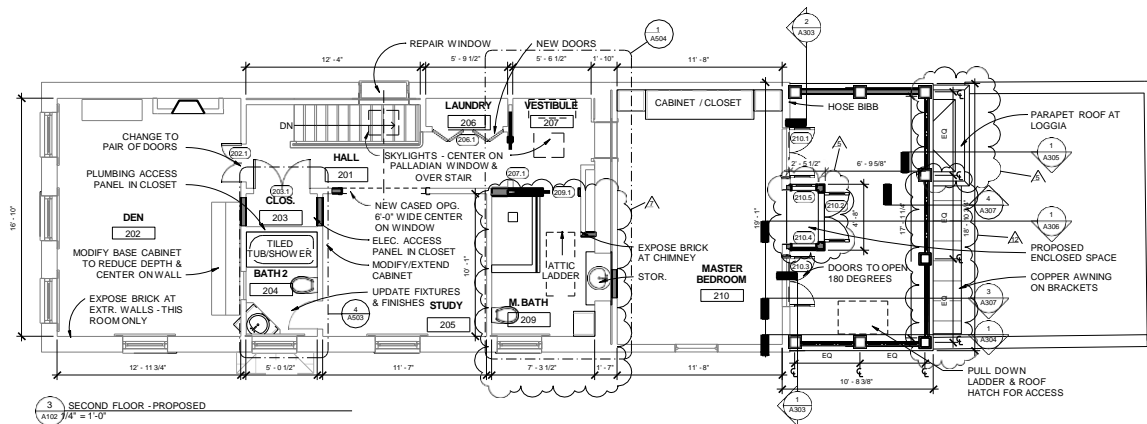
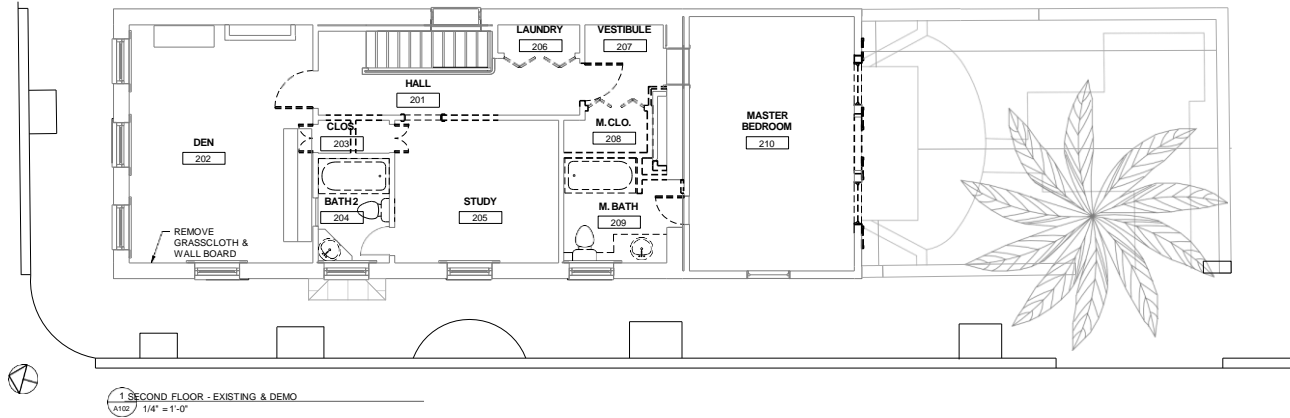
REVISIONS:

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PROJ. NO: 1507
DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8 MEETING

PLANS - FIRST FLOOR **A101**



NOTES ON FLOOR PLANS

1. ALL NEW FRAMING TO BE WOOD 2X4 UNLESS NOTED OTHERWISE.
2. UNLESS OTHERWISE INDICATED, DIMENSIONS ARE TO FACES OF NEW FRAMING MEMBERS AND TO FINISHED SURFACES OF EXISTING WALLS. DIMENSIONS INDICATED BY 'CL' ARE TO CENTERLINES.
3. DOOR OPENINGS SHALL START A MINIMUM OF 6" AWAY FROM ANY ADJACENT WALLS, UNLESS NOTED OTHERWISE.
4. DIMENSIONS FOR INTERIOR DOORS ARE TO FINISHED OPENING. ADD 3" FOR ROUGH OPENING.
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6. CEILING HEIGHTS ARE NOMINAL. SUBJECT TO APPROVAL. CEILING HEIGHTS MAY BE VARIED TO SUIT JOB CONDITIONS.
7. PROVIDE ALL BLOCKING AND MISCELLANEOUS FRAMING TO STUDS, FLOOR AND CEILING JOISTS, OTHER AREAS TO RECEIVE FLOORING, GYPSUM BOARD, OTHER FINISH MATERIALS.
8. PROVIDE SOLID BLOCKING FOR LIGHT FIXTURES, TOWEL BARS, TOILET PAPER HOLDERS, OTHER SURFACE MOUNTED FIXTURES AND DEVICES.
9. DIMENSIONS ON LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SMALL SCALE DRAWINGS.

REVISIONS:

12 JAN. 9, 2018 PARAPET ADDL DET., FRONT DOOR

70 LOGAN STREET
CHARLESTON, SC

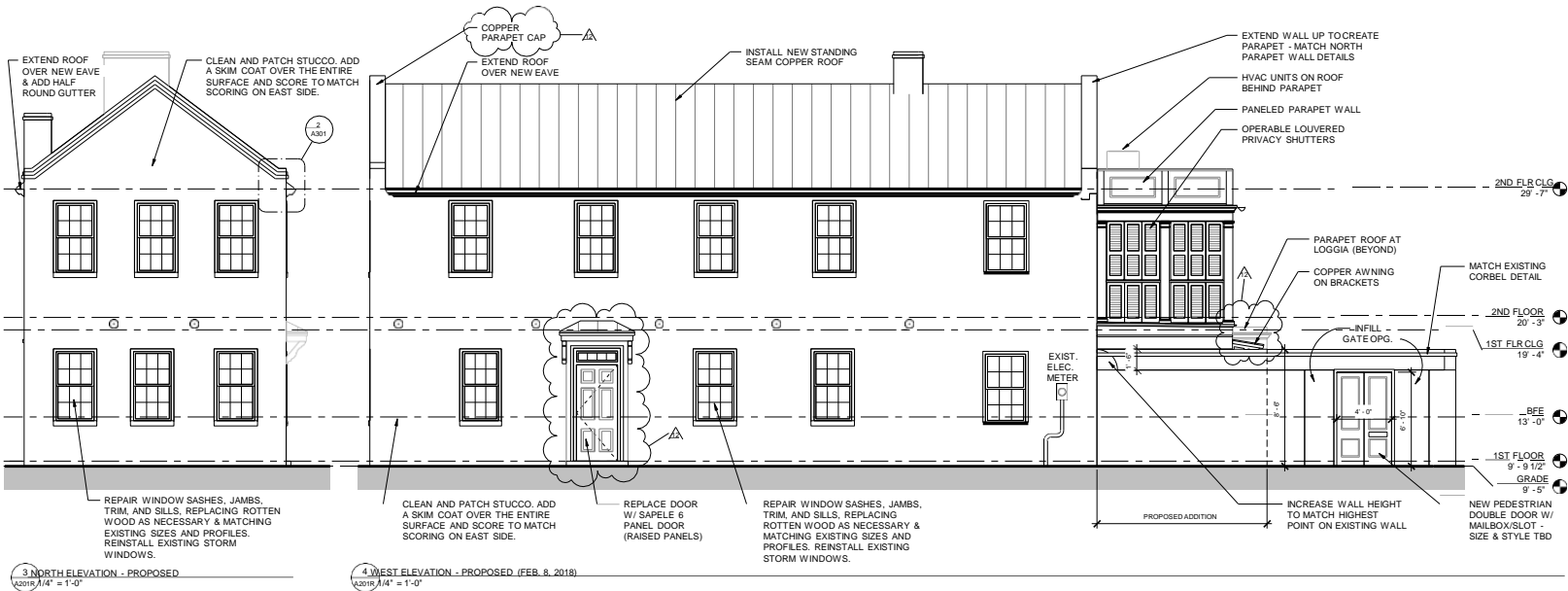
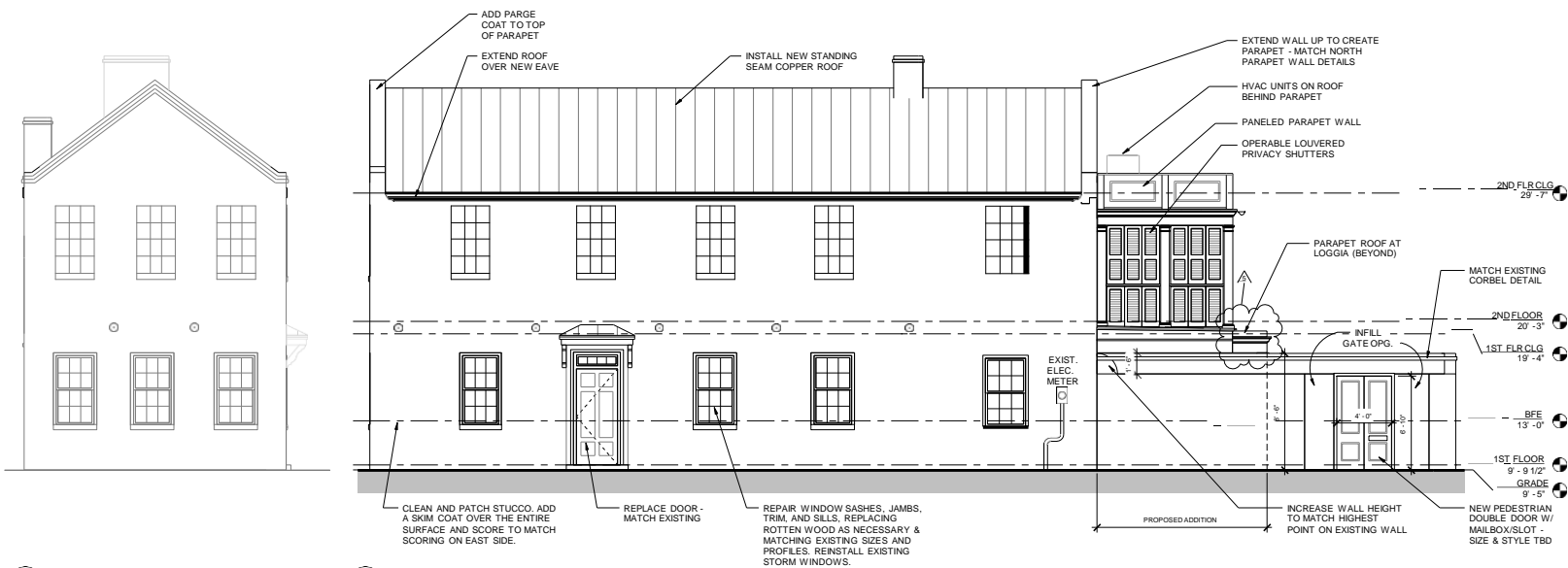
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DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8 MEETING

PLANS - SECOND
FLOOR

A102

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1/23/2018 4:41:24 PM



REVISIONS:
12 JAN. 9, 2018 PARAPET ADDL DET.: FRONT DOOR

70 LOGAN STREET
CHARLESTON, SC

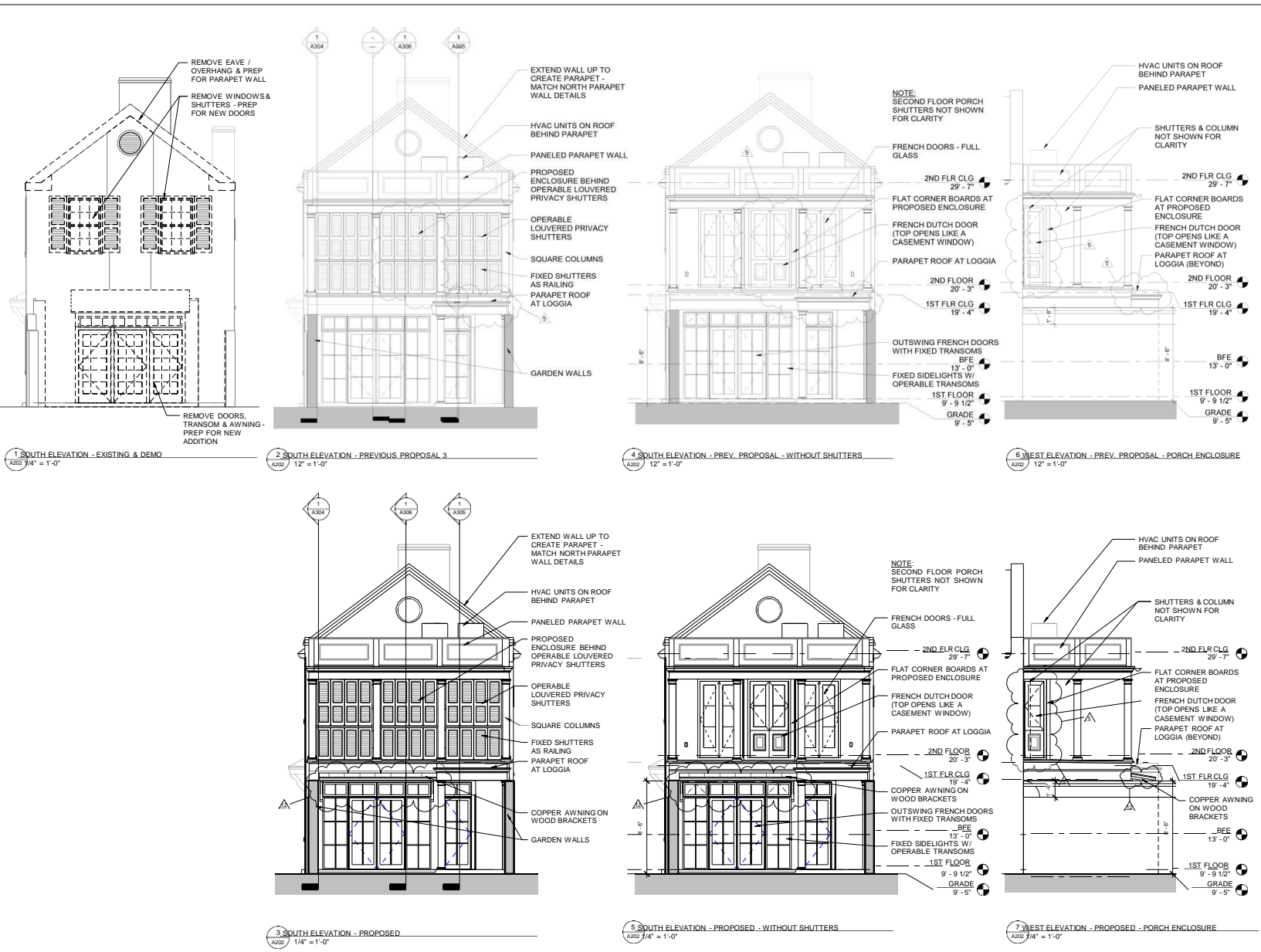
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DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8 MEETING

ELEVATIONS -
NORTH & WEST

A201R

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REVISIONS:
12 JAN. 9, 2018 PARAPET ADDL DET.; FRONT DOOR

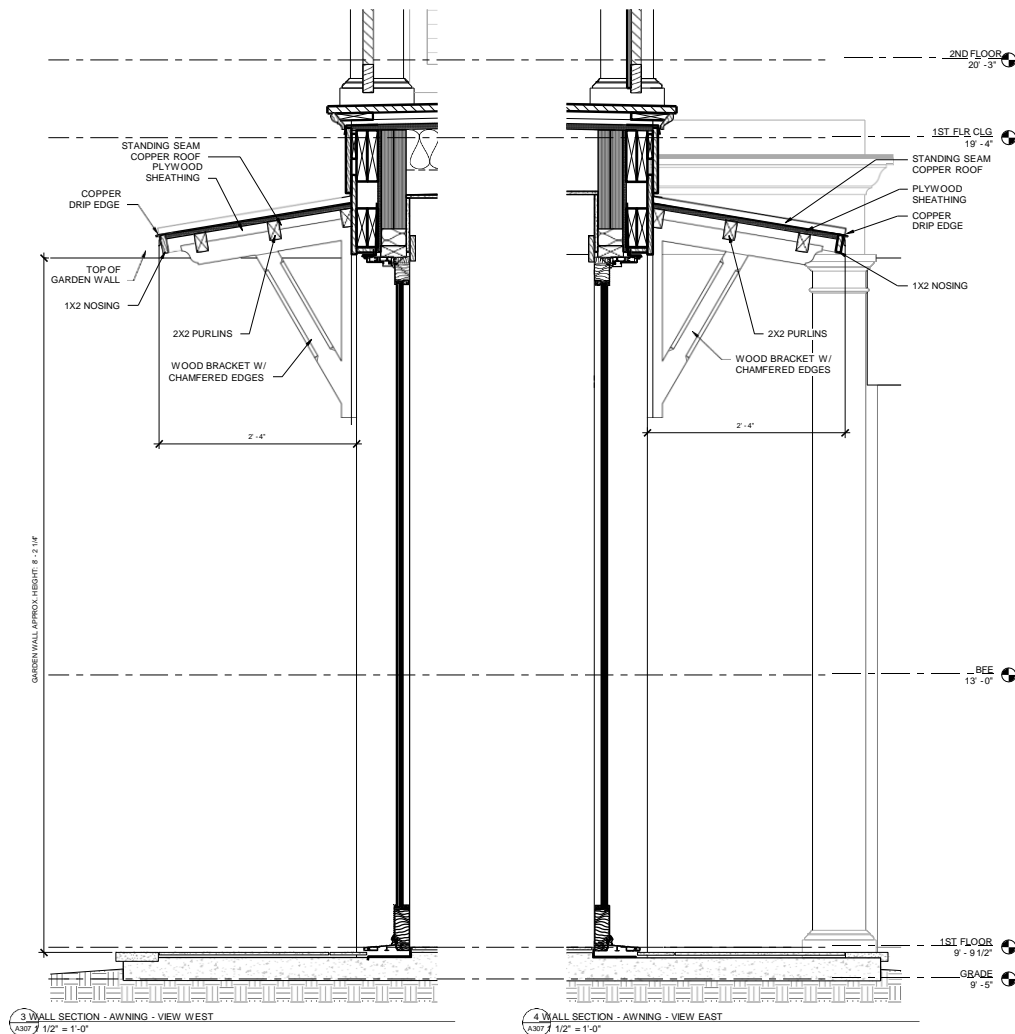
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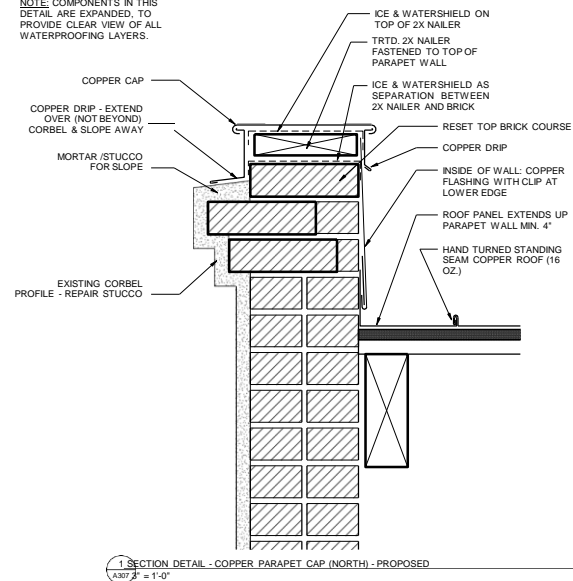
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DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8 MEETING

ELEVATIONS - SOUTH A202

C:\Users\Laura AlmarDropbox\LFA_projects\1507 Drawings\1507 70 LOGAN renovation master bath redesign.rvt
1/23/2018 4:41:26 PM



NOTE: COMPONENTS IN THIS DETAIL ARE EXPANDED, TO PROVIDE CLEAR VIEW OF ALL WATERPROOFING LAYERS.



REVISIONS:
12 JAN. 9, 2018 PARAPET ADDL DET.: FRONT DOOR

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CHARLESTON, SC

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DRAWN BY: LFA
ISSUE DATE: JAN. 23, 2018
PROJ. STATUS: BAR FEB. 8 MEETING

DETAILS - PARAPET & AWNING
A307

Agenda Item 4:

48 Laurens Street – TMS# 458-01-01-011

Request final approval for construction of new addition.

Category 2 / Ansonborough / c. 1814 / Old and Historic District

48 LAURENS STREET - ADDITION

BAR Submittal for Final Review
Meeting Date 02.08.18



① From Alexander and Laurens near e bay

ARCHITECT:

Simons Young + associates
3 Morris St, Suite B
Charleston, SC 29403

Contact: Simons Young
843.277.0996
simons@simonsyoung.com

OWNER:

Falk Family
48 Laurens Street
Charleston, SC 29401

STRUCTURAL ENGINEER:

Rick Lambert
Lambert Engineering Company
843.822.7426

CONTRACTOR:

David Hoffman
Edgewood Builders
843.722.6399

CODE DESIGN:

International Existing Building Code, 2015
International Residential Code, 2015

ARCHITECTURAL SHEET INDEX	
Sheet Number	Sheet Name
G000	COVER PAGE
G001	SURVEY
D100	DEMOLITION
LA 2	DRAINAGE AND LANDSCAPE PLAN
A100	SITE AND FOUNDATION PLAN
A101	1ST FLOOR
A102	2ND FLOOR
A103	ROOF PLAN
A201	ELEVATIONS
A201a	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A204	ELEVATIONS
A301	SECTIONS
A401	1ST FLOOR ENLARGED
A402	2ND FLOOR ENLARGED
A501	WALL SECTION
A601	EXTERIOR DETAILS
A601	WINDOW DETAILS
A602	EXTERIOR DETAILS
A902	SCHEDULES

- | | | |
|-----|--|-----------------------------------|
| 11. | 48 Laurens Street - TMS # 458-01-01-011 | APP. NO. 1711-09-11 |
| | Request preliminary approval for the construction of a new addition. | |
| | Category 2 (Ansonborough) | c. 1814 Old and Historic District |
| | Owner: Robert B. Faulk Jr. | |
| | Applicant: Simons Young & Associates | |

MOTION: Preliminary approval with staff conditions noted.

MADE BY: Huey SECOND: Martin VOTE: FOR 4 AGAINST 0
(Gardner recuses)

48 Laurens Street:

As a reminder, due to the special exception received by the BZAZ for this project, all elevations are subject to BAR purview regardless of visibility.

Staff Comments:

1. The connecting portion of the addition has been set further inward on the west elevation to create a hyphen.
2. Board condition to carefully restudy fenestration patterns has not been adequately addressed:
 - a. Additional small windows added to the west elevation do not improve the fenestration pattern.
 - b. The upper small windows on the west and east elevation are uncomfortably close to the eave.
 - c. 2 1/2" windows have not been established elsewhere on the addition other than the dormers to help differentiate from the main building.

Staff Recommendation: P/A with conditions noted to address board direction on fenestration pattern, and FRBS.

**SIMONS
YOUNG**
+ associates

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www.simonasyoung.com

[illegible]

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48 LAURENS

COVER PAGE

Project number	15112
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Date	01.25.2018
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Drawn by	CH
----------	----

Checked by	SY
------------	----

G000

Scale

	FOR APPROVAL
--	--------------

[illegible]

LAURENS STREET
(S-10-111)

CHARLESTON COUNTY,
PLAT OF 43 LAURENS STREET (TMS)
CONTAINING 0.16

EDITED BY ROBERT B. FALK,

0	0	21
0	0	21

SCALE 1"



NOVEMBER 25



E.M. SEABROOK

Engineers | Surveyors

1057 Chuck Jacky Bldg.
Building - Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 881-4496
www.emseabrook.com

HERBERT STAFF THAT TO THE BEST OF MY PROFESSIONAL
INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS
CONDUCTED IN ACCORDANCE WITH THE STANDARDS OF
QUALITY SURVEYING IN SOUTH CAROLINA AND MEETS
THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED
IN THIS DOCUMENT. ORIGINALLY PREPARED AND
BY LEWIS E. SCARBROOK, S.C. REG. NO.
14969-007-75, 1975. THIS RE-FIGURED MAP WAS
PREPARED BY CAROL E. DUNCAN, REG. NO. 584-001-
DOCUMENT FOR CERTIFICATE AND

LEWIS F.
C. M. - NUMBER 2 LANE
S. C. REC. NO.
P. O. BOX
MOUNT PLEASANT, S. C.
(843)

LEGEND
 BH BACKFLOW PREVENTER
 BR BRONZE BRASS FOUND
 LP DISC FULF
 PP POWER POLE
 RD ROOF DRAIN
 WM WATER MAIN
 ————— GROUND POWER LINE

CH CHERRY
 CH CHAMPAGNE
 HO HOLLY
 MA MAPLE
 MA MAGNOLIA
 PA PALM TREE
 TO TULIP

[illegible]

NOTES

1. ATTACHED SINGLE-FAMILY DWELLINGS PERMITTED; REFER TO ARTICLE 5.
PARK 1, 10 OR 20 SPACE PROVISIONS OF 2 AND 4-IMPASSED W/ 6-GRASSY UNITS OR ONE
PARKWAY 1-TRUCKS OR TRAILERS, 10-OR 20-SPACE HOUSES WHERE PERMITTED.

2. 10-PROPERTY IS IN THE OLD CITY 10-TRUCK DISTRICT 50-20.
3. 10-PROPERTY IS IN THE OLD AND HISTORIC DISTRICT.
4. 10-PROPERTY IS IN THE ADJUTANT AND REGIMENTARY OVERLAY.

1. FILED BY DEPT. OF HEALTH DATED MARCH 25, 1966
RECORDED IN CHARLESTON COUNTY TWC OFFICE
IN PLAT BOOK 27 PAGE 81

2. DEED DATED FEB. 20, 2010
RECORDED IN CHARLESTON COUNTY TWC OFFICE
IN DEED BOOK 3150 PAGE 763

[illegible]

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843 277 0996
www.simonasyoung.com

[illegible]

Project number	15112
Date	01.25.2018
Drawn by	LS
Checked by	Checker
G001	
Scale	1" = 10'-0"



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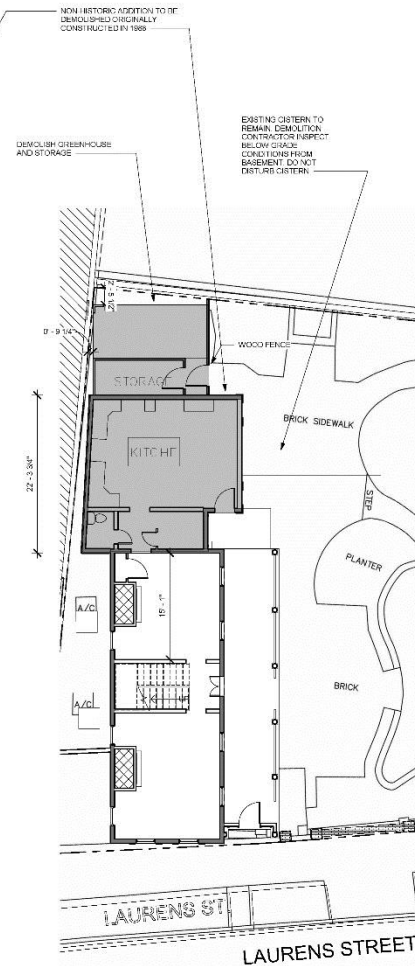
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**NOT FOR
CONSTRUCTION**

[illegible]

48 LAURENS
PHOTOS

Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker
B001	
Scale	



GENERAL NOTE.

HISTORIC MATERIAL
EXISTS ABOVE AND
BELOW GROUND.
DEMOLITION
CONTRACTOR TAKE CARE
TO PROTECT ALL
EXISTING HISTORIC
MATERIAL

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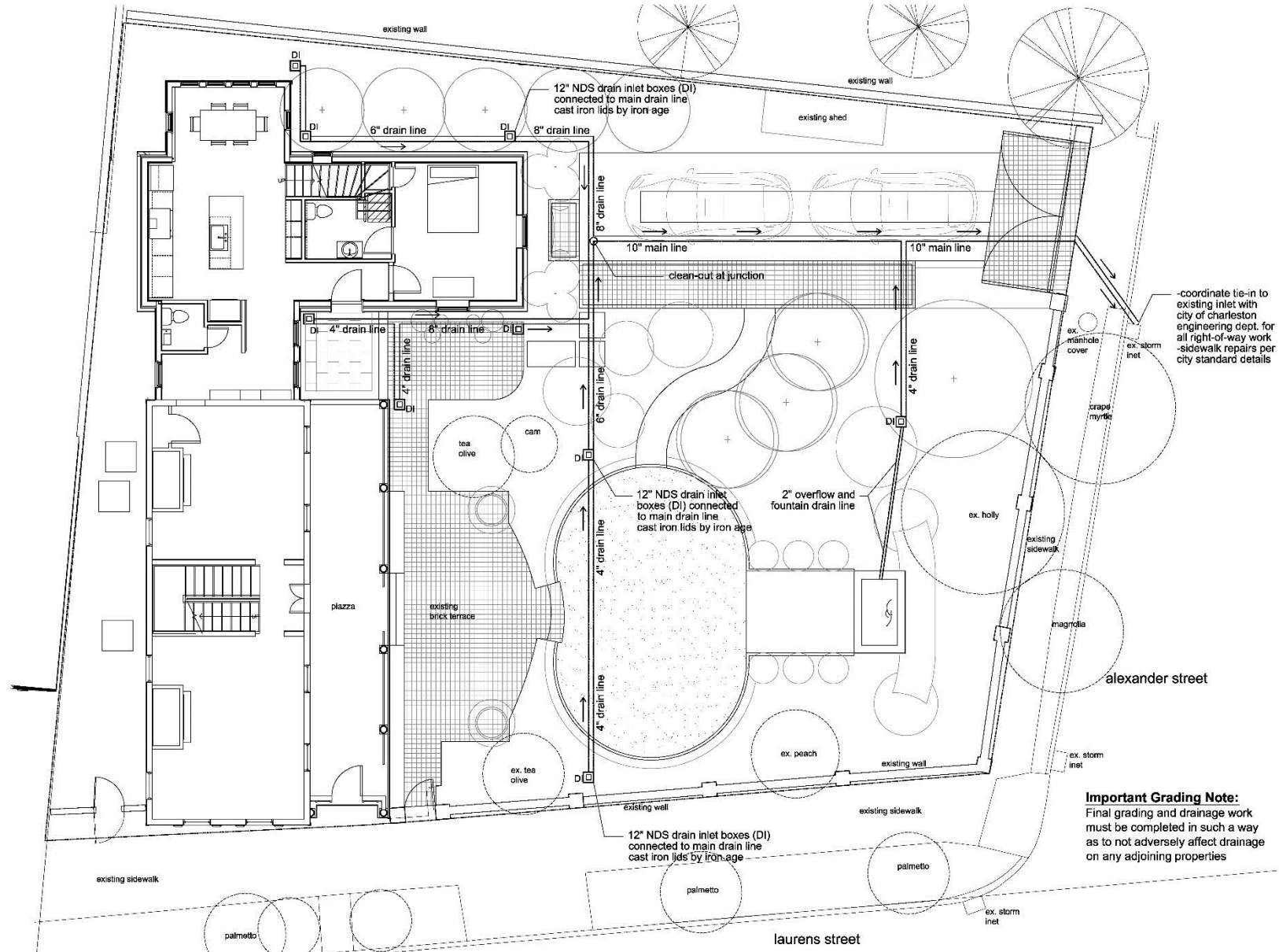
48 LAURENS

DEMOLITION

Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker

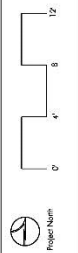
D100

Scale	1/8" = 1'-0"
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GENSLER, GARDNER, LANDSCAPE ARCHITECT
 1000 11th Ave. S.W.
 Atlanta, Georgia 30332
 P 404.772.2880
 F 404.772.2880
 E gpl@gensler.com

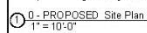
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 Rev: 01.25.2018 gpl



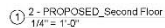
The Folk Residence
 48 Laurens Street, Asheville, NC
 Charlotte, North Carolina, 27611

Drainage Plan
 sheet 2

Important Grading Note:
 Final grading and drainage work
 must be completed in such a way
 as to not adversely affect drainage
 on any adjoining properties



Scale	As indicated
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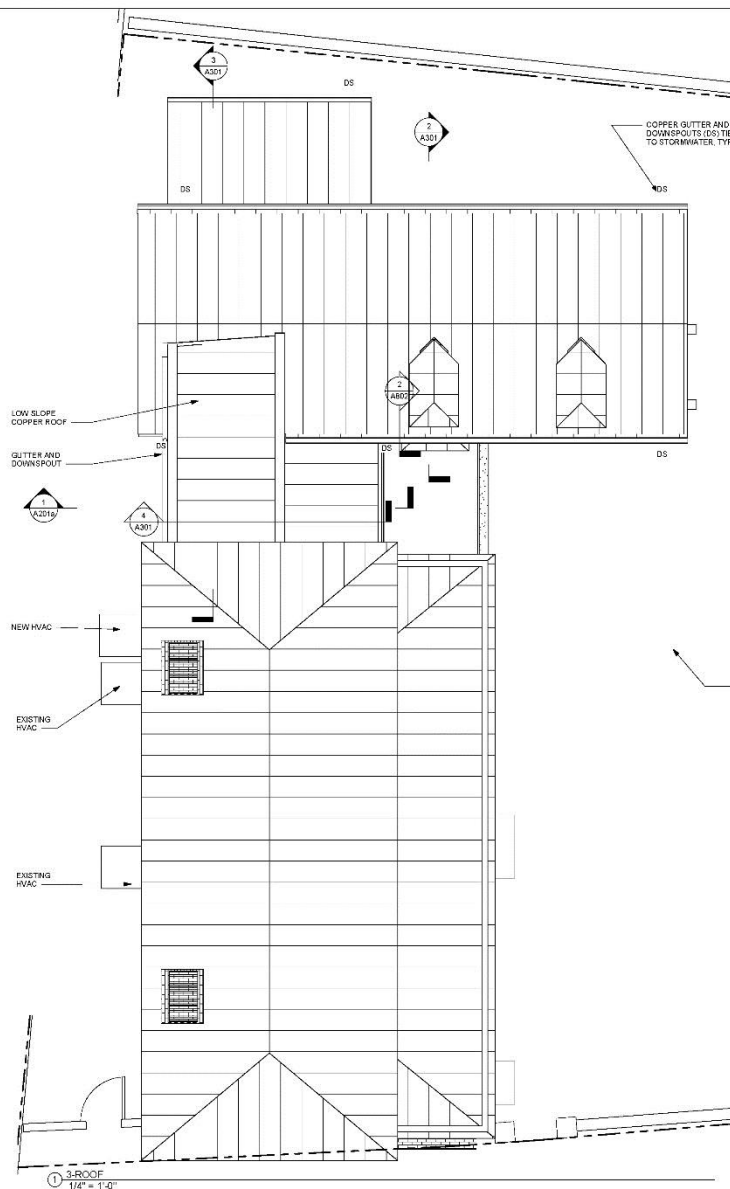
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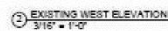
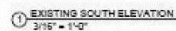
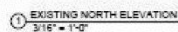
2ND FLOOR

A102

Scale $1/4" = 1'-0"$



Scale $1/4" = 1'-0"$



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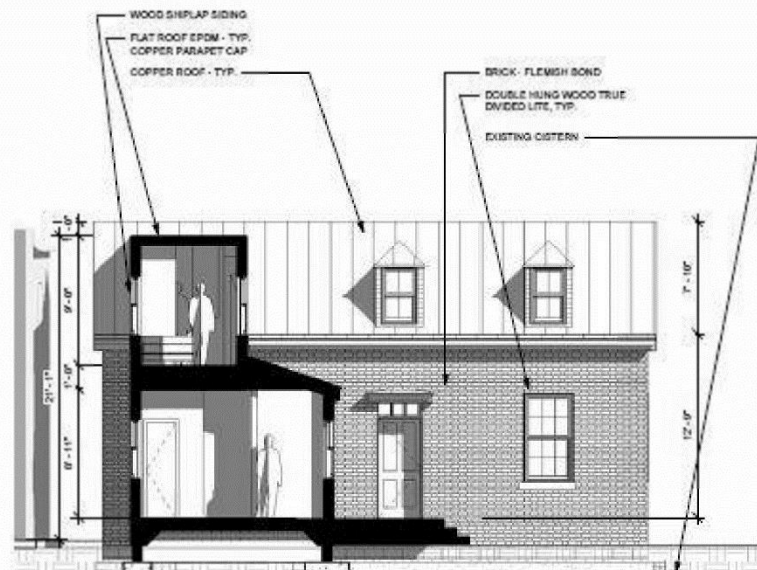
Scale

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Project number	15112
Date	01.25.2018
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A201a	
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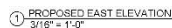
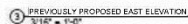
PREVIOUSLY PROPOSED SOUTH ELEVATION AT HYPHEN



① SOUTH ELEVATION AT HYPHEN
 $1/4" = 1'-0"$

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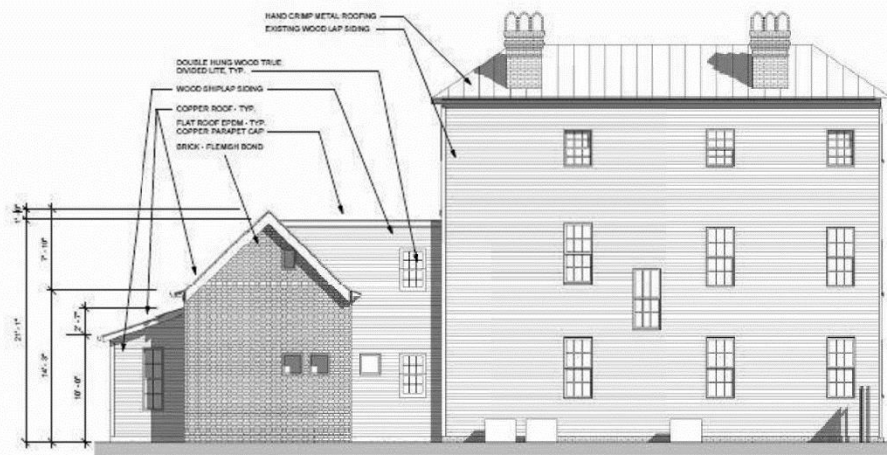


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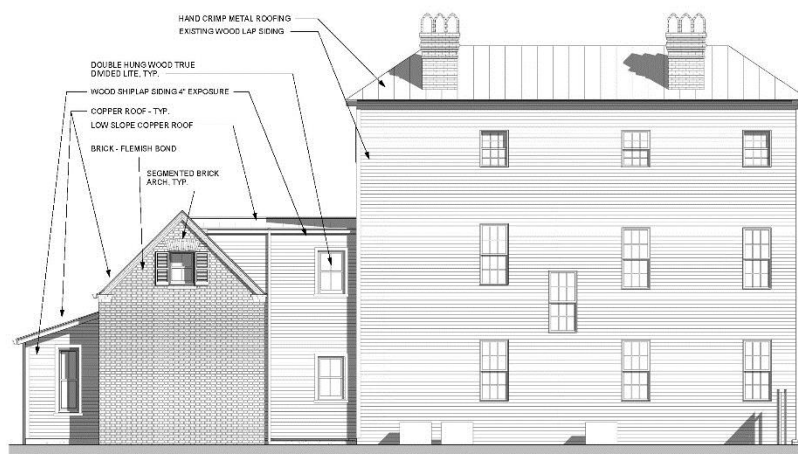
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Date	01.25.2018
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Checked by	Checker
A202	
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① PROPOSED WEST ELEVATION
3/16" = 1'-0"



① PROPOSED WEST ELEVATION
3/16" = 1'-0"

[illegible]

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ELEVATIONS

Project number	15112
Date	01.25.2018

Date	01.25.2018
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Drawn by	Author
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Checked by	Checker
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A204

A204

Scale $3/16" = 1'-0"$

[illegible]

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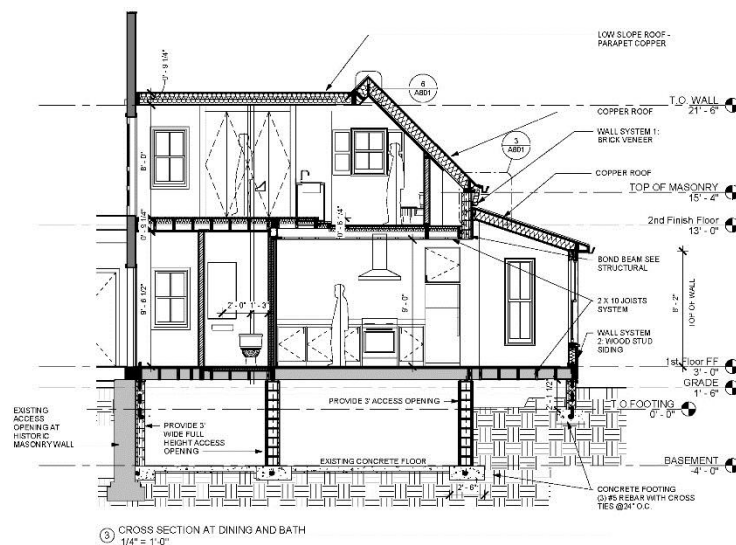
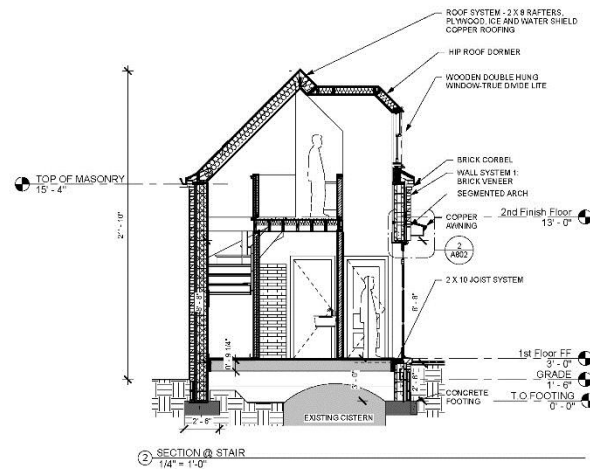
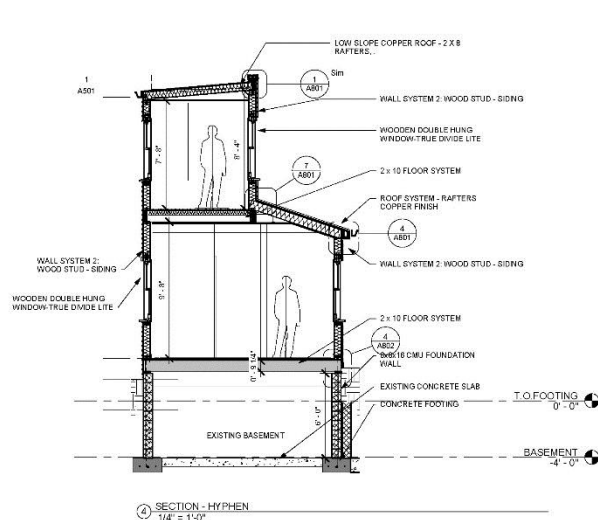
SECTIONS

Project number	15112
Date	01.25.2018

Drawn by	Author
Checked by	Checker

A301

Scale	1/4" = 1'-0"
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www.simonsonyoung.com

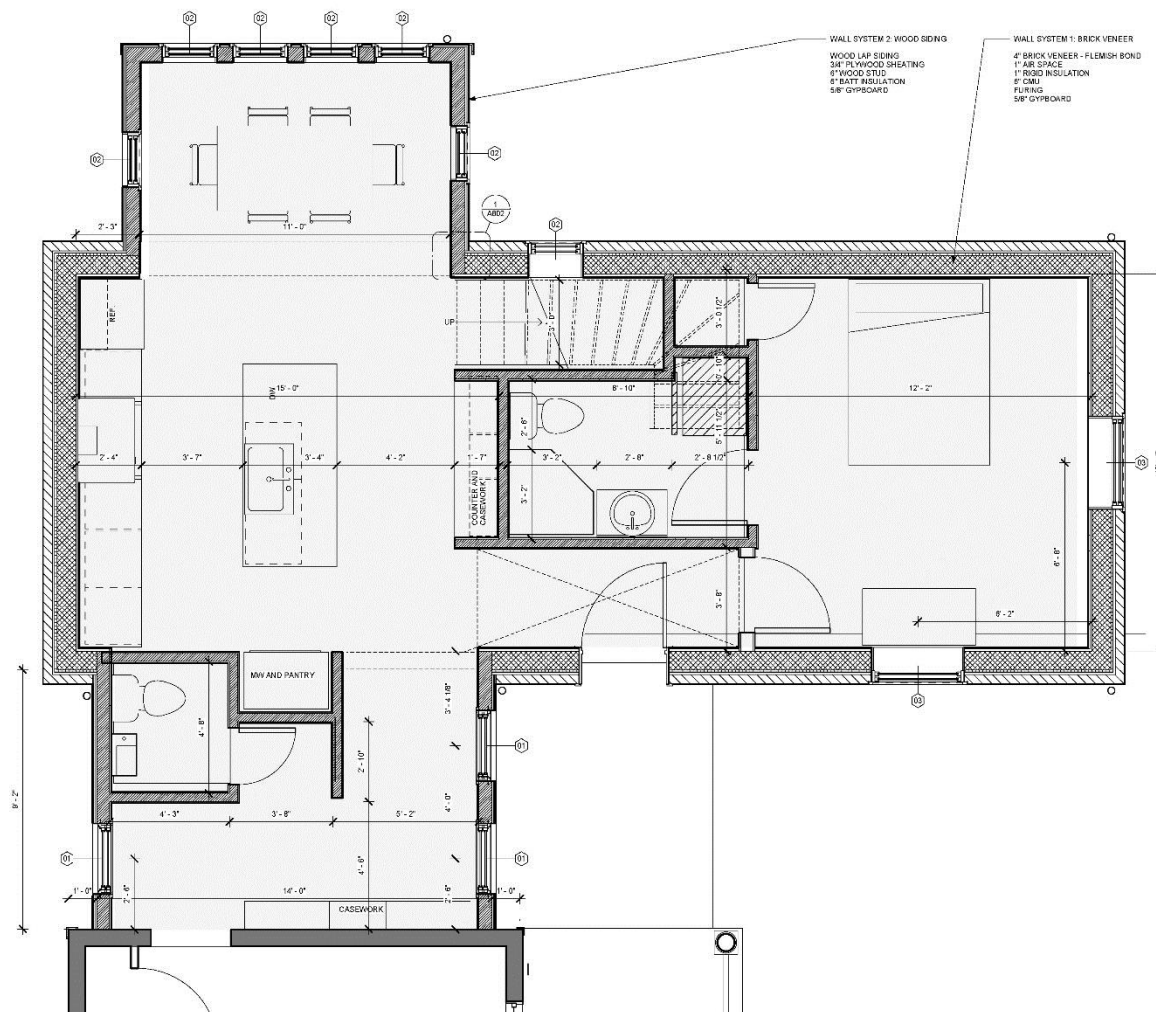
[illegible]

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48 LAURENS
1ST FLOOR ENLARGED

Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker
A401	
Scale	1/2" = 1'-0"

① 1 - PROPOSED First Floor - Enlarged
1/2" = 1'-0"



3 MORRIS STREET SUITE B
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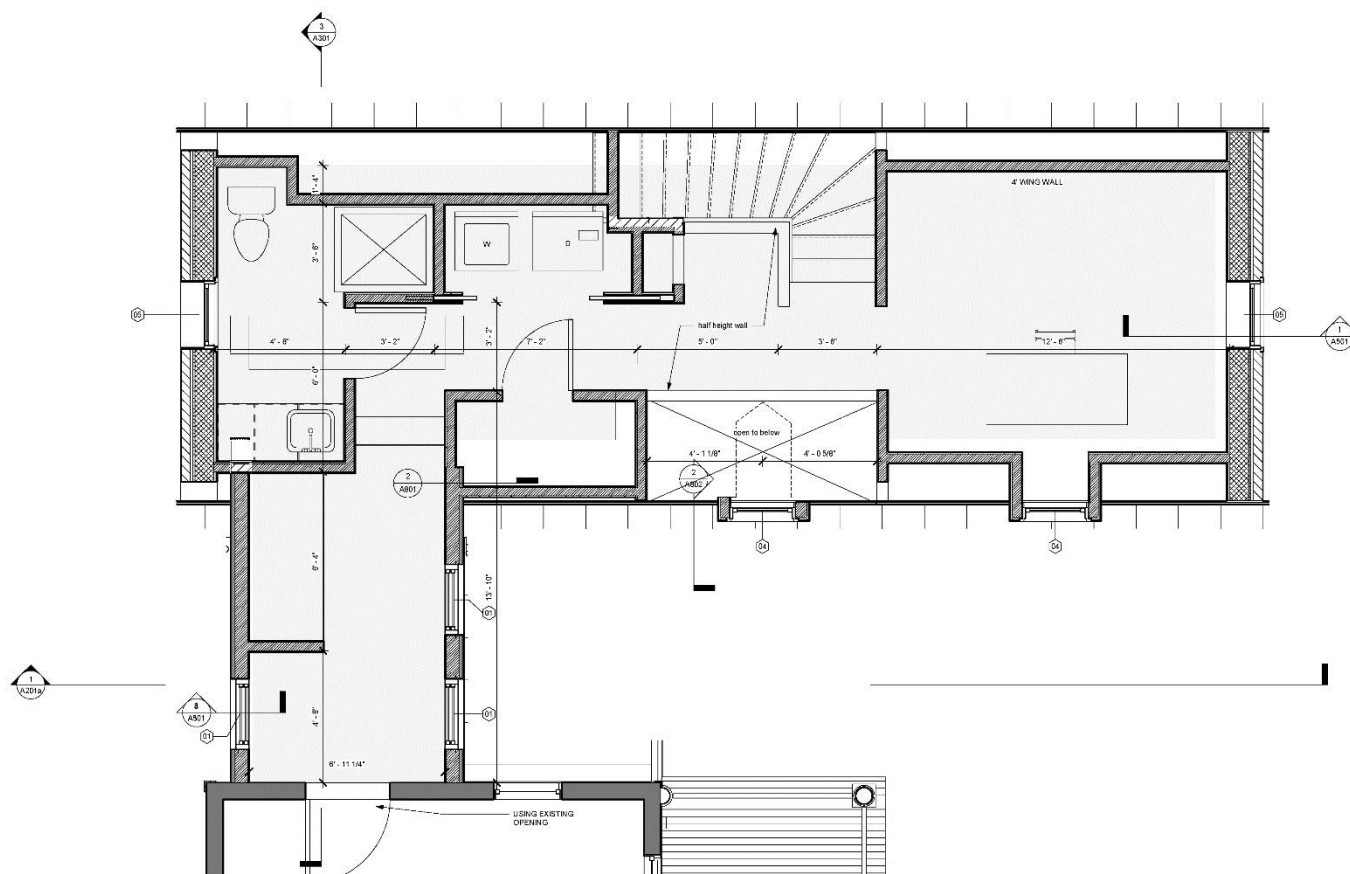
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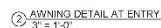
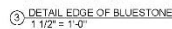
Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker

Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker

Scale $1/2" = 1'-0"$



① 2 - PROPOSED_Second Floor - Enlarged
1/2" = 1'-0"



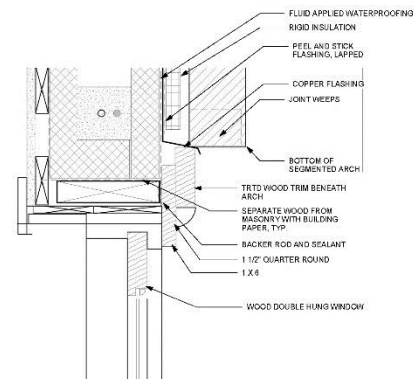
STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS

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Scale	As indicated
-------	--------------

HEAD

HEAD



① DETAIL - WINDOW HEAD AT MASONRY
3" = 1'-0"

JAMB

3 DETAIL - STUD WINDOW
3" = 1'-0"

④ WINDOW SILL DETAIL
3" = 1'-0"

⑥ DETAIL - DORMER WINDOW
3" = 1'-0"

⑥ DETAIL WOOD WINDOW FLASHING @ STUD WALL
1/2" = 1'-0"

② ENLARGED ELEVATION - WINDOW
 $1/2" = 1'-0"$

**SIMONS
YOUNG**
+ associates

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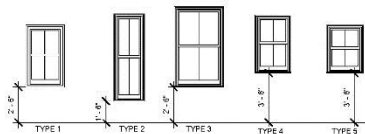
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48 LAURENS
WINDOW DETAILS

Project number	15112
Date	01.25.2018
Drawn by	Author
Checked by	Checker
A901	
Scale	As indicated

PROVIDE PLYWOOD PROTECTION FOR
WINDOWS WITHOUT SHUTTERS, PRE-
CUT, STORED ON SITE



○ WINDOWS
1/4" = 1'-0"

CROWN BASE STOP CASING

○ INTERIOR WOOD TRIM
1 1/2' = 1'-0"

Room Schedule					
Name	Base Finish	Ceiling Finish	Wall Finish	Floor Finish	
OFFICE	BASEBRD	DRYWALL PTD	DRYWALL PTD	PINE	
CLOSET	BASEBRD	DRYWALL PTD	DRYWALL PTD	PINE	
MASTER	BASEBRD	DRYWALL PTD	DRYWALL PTD	PINE	
BATH					
KITCHEN	BASEBRD	DRYWALL PTD WITH CROWN	DRYWALL PTD	PINE	
FOYER	BASEBRD	DRYWALL PTD WITH CROWN	DRYWALL PTD	PINE	
POWDER ROOM	BASEBRD	DRYWALL PTD WITH CROWN	DRYWALL PTD	TILE	
HALL	BASEBRD	DRYWALL PTD WITH CROWN	DRYWALL PTD	PINE	
WEST BEDROOM					
GUEST	BASEBRD	DRYWALL PTD	DRYWALL PTD	PINE	

3 MORRIS STREET SUITE B
CHARLESTON SC 29403
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[illegible]

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48 LAURENS
SCHEDULES

Project number	15112
Date	01.25.2018

Drawn by	Author
Checked by	Checker

1000

A902

Scale	As indicated
-------	--------------

Agenda Item 5:

6 Bee Street – TMS# 460-15-02-091

Request conceptual approval for construction of rear addition.

Category 4- / Radcliffeborough / c.1880s / Old City District

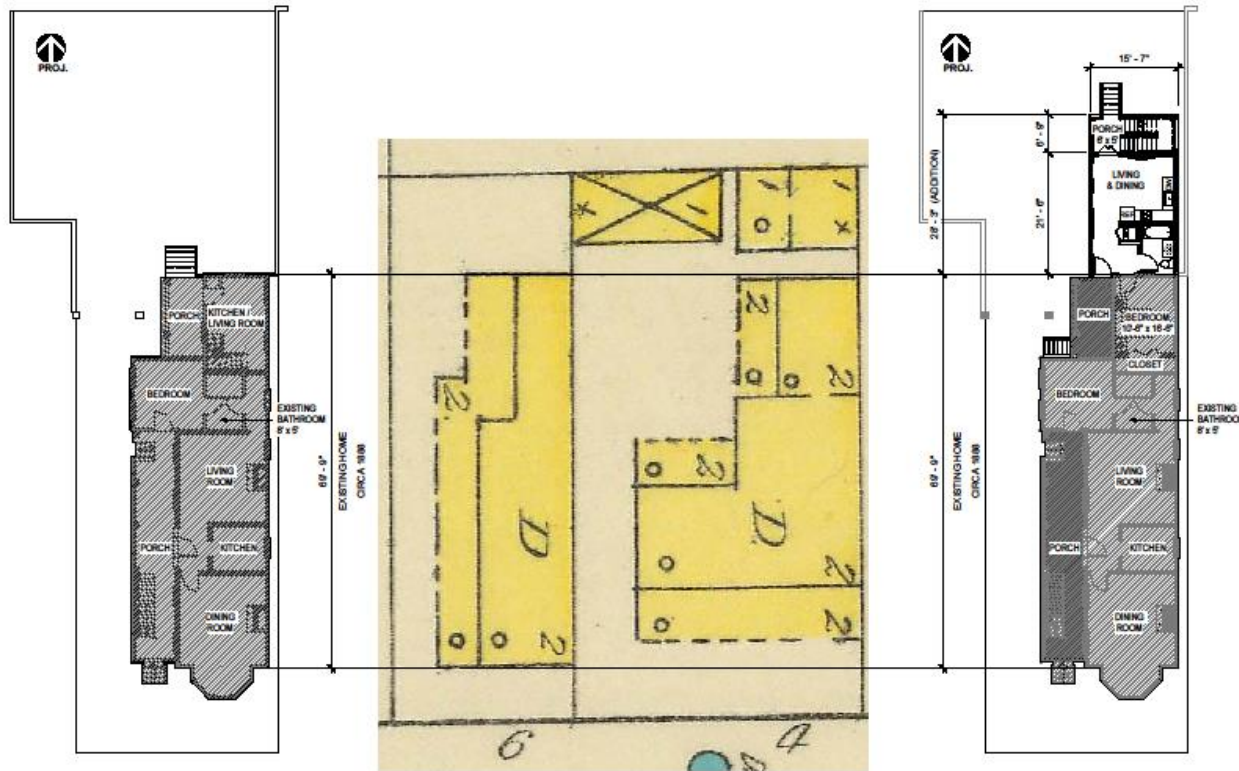


McKEE RESIDENCE REAR ADDITION

6 Bee Street
Charleston, SC 29403

January 16, 2018
BAR CONCEPTUAL SUBMITTAL

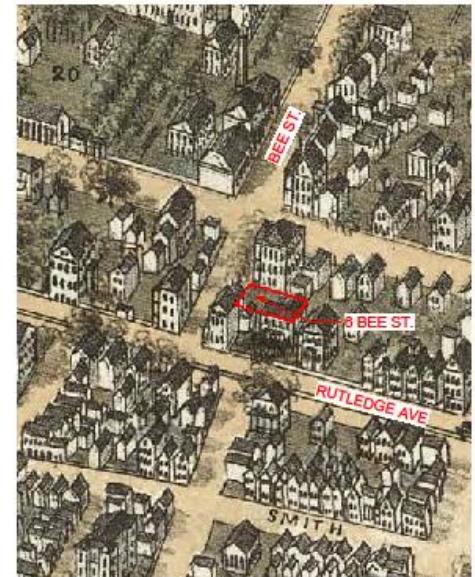
C000



1 **EXISTING SITE PLAN**
SCALE: 1" = 10'-0"

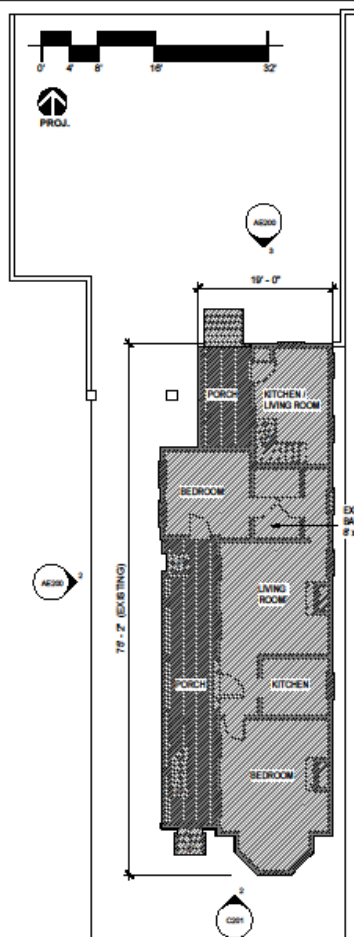
2 **HISTORIC SANBORN MAP CIRCA 1888**
N.T.S.

3 **PROPOSED SITE PLAN**
SCALE: 1" = 10'-0"

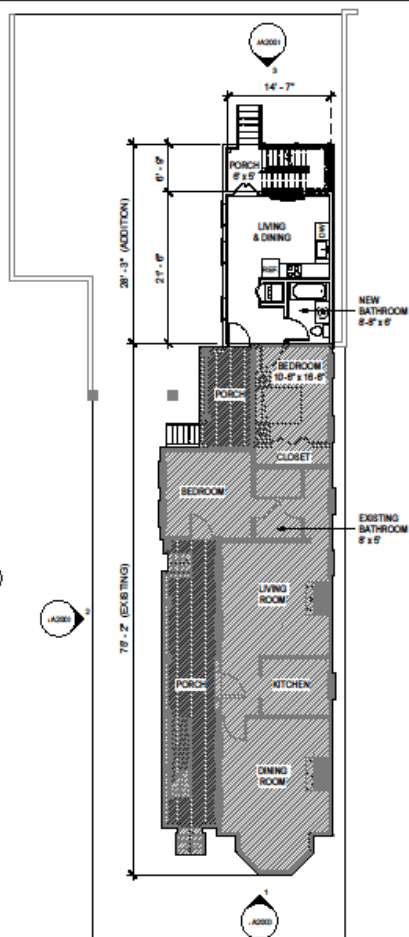


4 **HISTORIC BIRD'S EYE VIEW CIRCA 1872**
N.T.S.

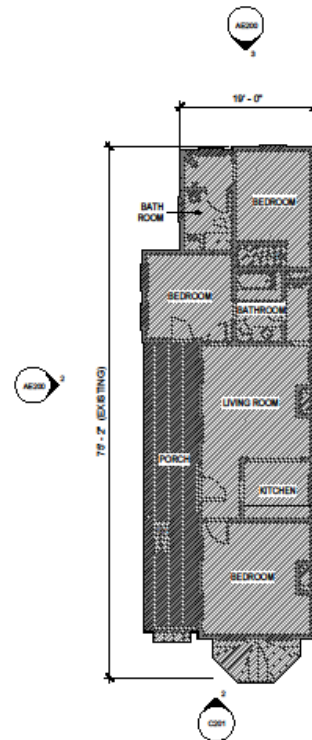
C050



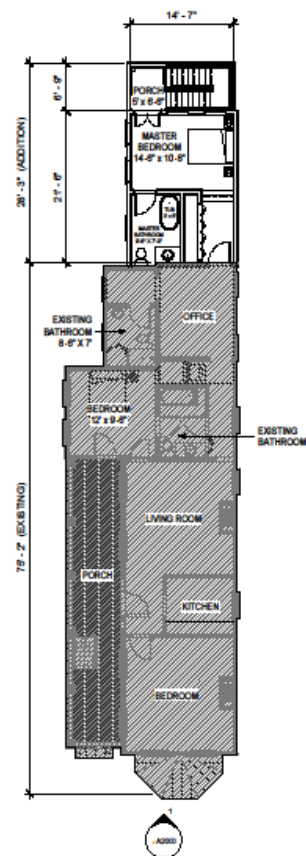
1 EXISTING FIRST FLOOR PLAN
C100 SCALE: 1/8" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
C100 SCALE: 1/8" = 1'-0"

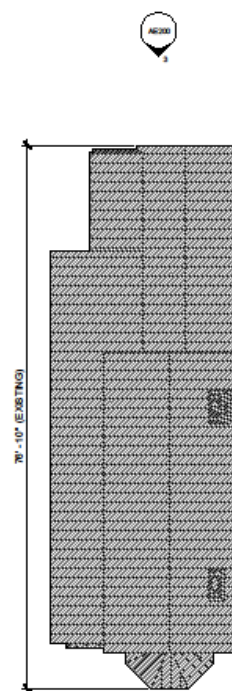


3 EXISTING SECOND FLOOR PLAN
C100 SCALE: 1/8" = 1'-0"

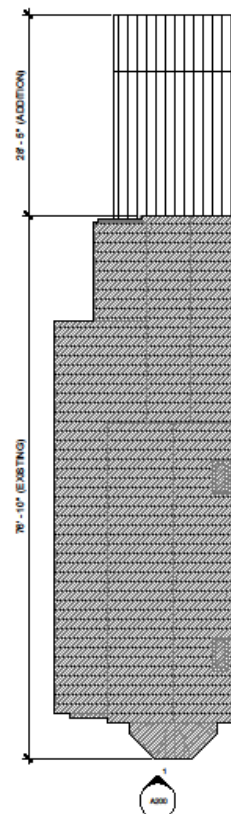


4 PROPOSED SECOND FLOOR PLAN
C100 SCALE: 1/8" = 1'-0"

C100

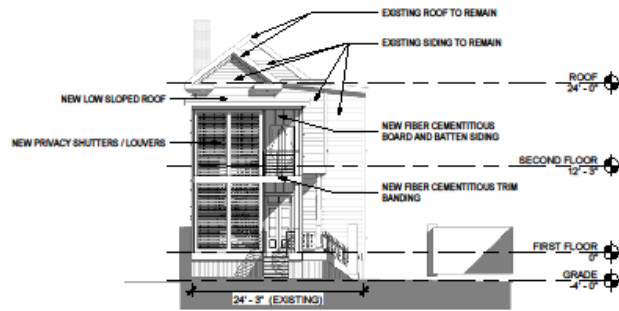


1 EXISTING ROOF PLAN
C120 SCALE: 1/8" = 1'-0"

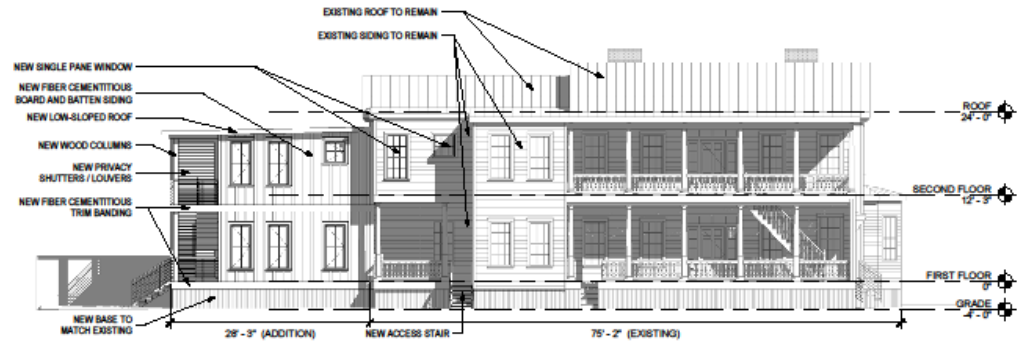


2 PROPOSED ROOF PLAN
C120 SCALE: 1/8" = 1'-0"

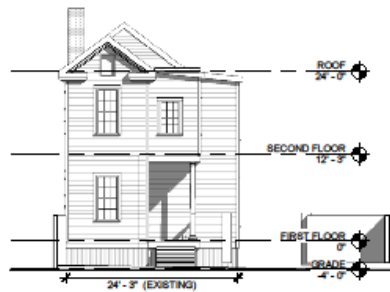
C120



3 PROPOSED NORTH ELEVATION
C200 SCALE: 1/8" = 1'-0"



4 PROPOSED WEST ELEVATION
C200 SCALE: 1/8" = 1'-0"

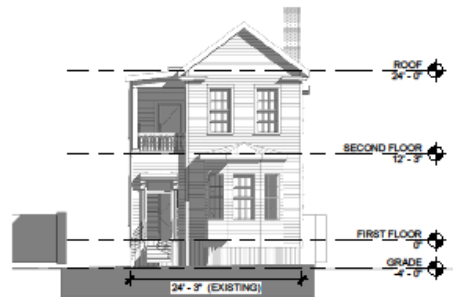


2 EXISTING NORTH ELEVATION
C200 SCALE: 1/8" = 1'-0"

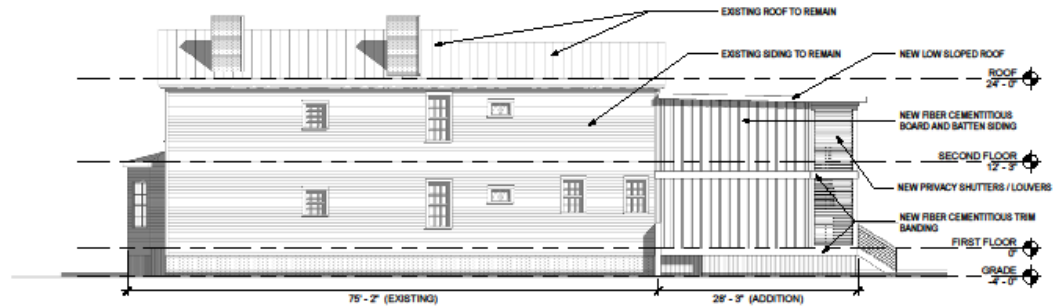


1 EXISTING WEST ELEVATION
C200 SCALE: 1/8" = 1'-0"

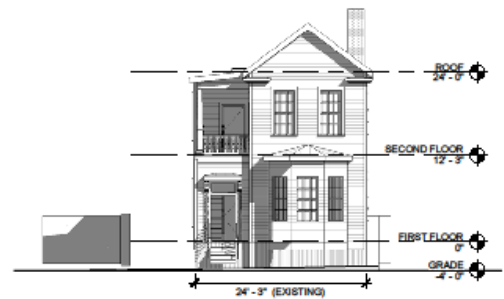
C200



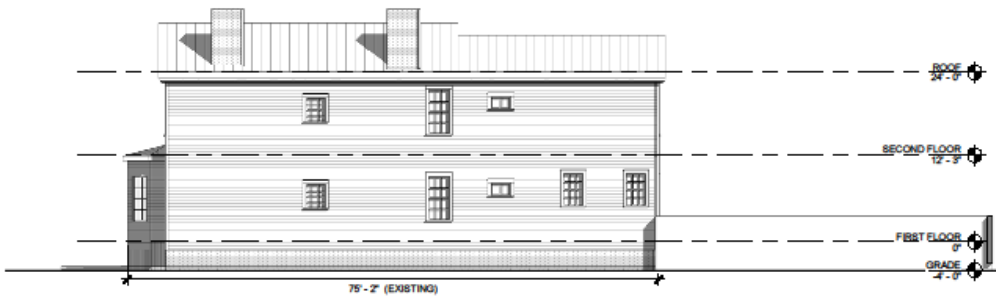
4 PROPOSED SOUTH ELEVATION
C201 SCALE: 1/8" = 1'-0"



3 PROPOSED EAST ELEVATION
C201 SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION
C201 SCALE: 1/8" = 1'-0"

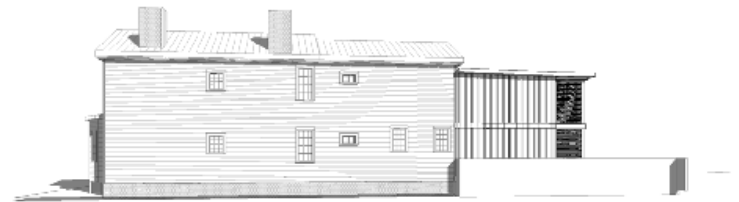


1 EXISTING EAST ELEVATION
C201 SCALE: 1/8" = 1'-0"

C201



① **NEW FRONT PERSPECTIVE (FROM STREET)**
N.T.S.



② **NEW FRONT PERSPECTIVE 1**
N.T.S.



③ **NEW REAR PERSPECTIVE 1**
N.T.S.



④ **NEW REAR PERSPECTIVE 3**
N.T.S.

C300



C400



C400



C400

Agenda Item 6:

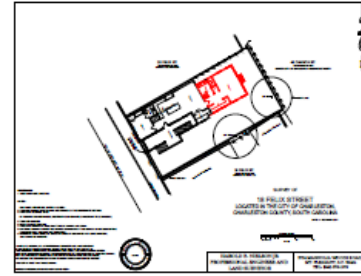
18 Felix Street – TMS# 460-15-02-091

Request conceptual approval for renovation of existing building and new construction of rear addition.

**Category 4 / Cannonborough-Elliotborough / pre-1888 /
Old City District**



Existing Footprint: 1072 sq ft
 Proposed Addition Footprint
 Proposed Total Footprint: 1655 sq ft
 Lot Size: 3360 sq ft
 Proposed Coverage: 49.25%
 Current: 2 Units (2 Bed 1 Bath ea.)
 Proposed: 2 Units (2 Bed 2 Bath ea.)
 Proposed Materials:
 Structure: Wood Frame
 Foundation: Continuous Footer/Block Wall
 Siding: 1x8" PT Pine Shiplap on Flat
 Trim: PT Pine
 Roof: Galvanized Standing Sea,
 Flashing: Copper
 Stairs: Carolina Brick
 Shutters: Functional Cedar
 Windows: Anderson Historic Series
 All Wood



HHM Builders LLC

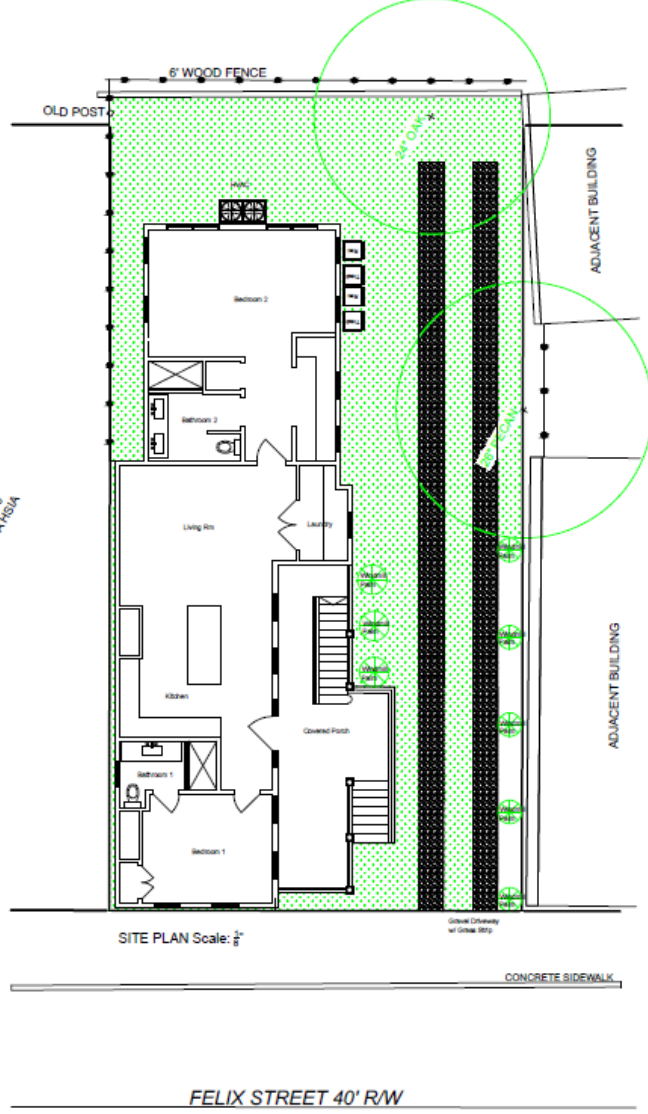
Charleston SC

Harrison Malpass
 78 Smith St
 Charleston SC 29401

Page 1

18 Felix St
 Charleston SC, 29403

20 FELIX ST.
TMS# 460-12-01-030
OWNER: BELINDA HSA



HHM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401

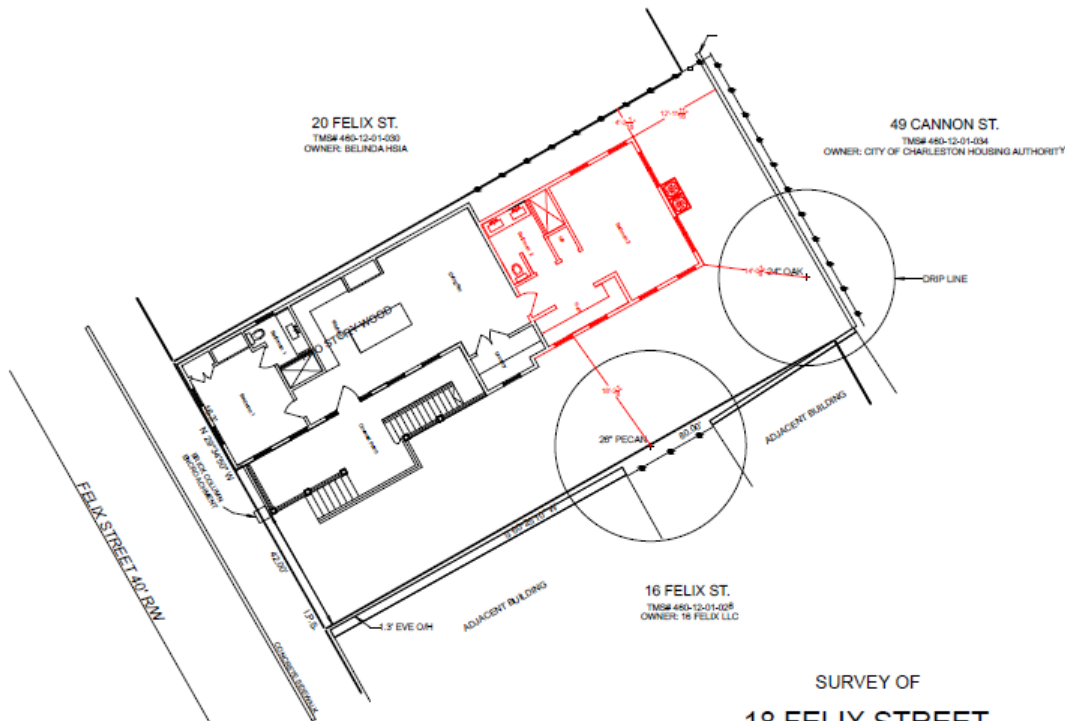
REFERENCES:
1. DEED BOOK A278, PAGE 592.

NOTES:
1. PROPERTY IS LOCATED IN FLOOD ZONE 1A(15) ACCORDING TO F.E.M.A. F.I.R.M. MAP PANEL 45019 0512 C, DATED 11-17-2004.
2. THE AREA SHOWN HERE ON WAS DETERMINED BY THE COORDINATE METHOD.
3. PROPERTY IS ZONED DR-2F.
4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
5. TMS# 460-12-01-029.
6. DEED BK. A278, PAGE 592.
7. PROPERTY OWNER OF RECORD AT TIME OF SURVEY: JIM CROW.
8. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS SURVEY IS FOR DESCRIPTIVE PURPOSES ONLY AND WAS NOT SURVEYED.
9. BOUNDARY LINES DEPICTED BASED ON LINES OF OCCUPATION OF LONG DURATION, AND FOUND MONUMENTS.



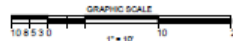
I, HAROLD B. NIELSON, JR., A PROFESSIONAL ENGINEER AND LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS TO THE STANDARDS OF PRACTICE MANUAL FOR THE PRACTICE OF SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS, OR EXCEEDS THE REQUIREMENTS FOR A "CLASS A" SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

HAROLD B. NIELSON, JR. S.C.P.E. AND P.L.S. NO. 7525



SURVEY OF
18 FELIX STREET
LOCATED IN THE CITY OF CHARLESTON,
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: 11 FEBRUARY 2017



HAROLD B. NIELSON JR.
PROFESSIONAL ENGINEER AND
LAND SURVEYOR

2724 MAGNOLIA WOODS ROAD,
MT. PLEASANT, S.C. 29464
TEL: (843)-276-1379

HHM Builders LLC

—Charleston SC—

Harrison Malpass
78 Smith St
Charleston SC 29401

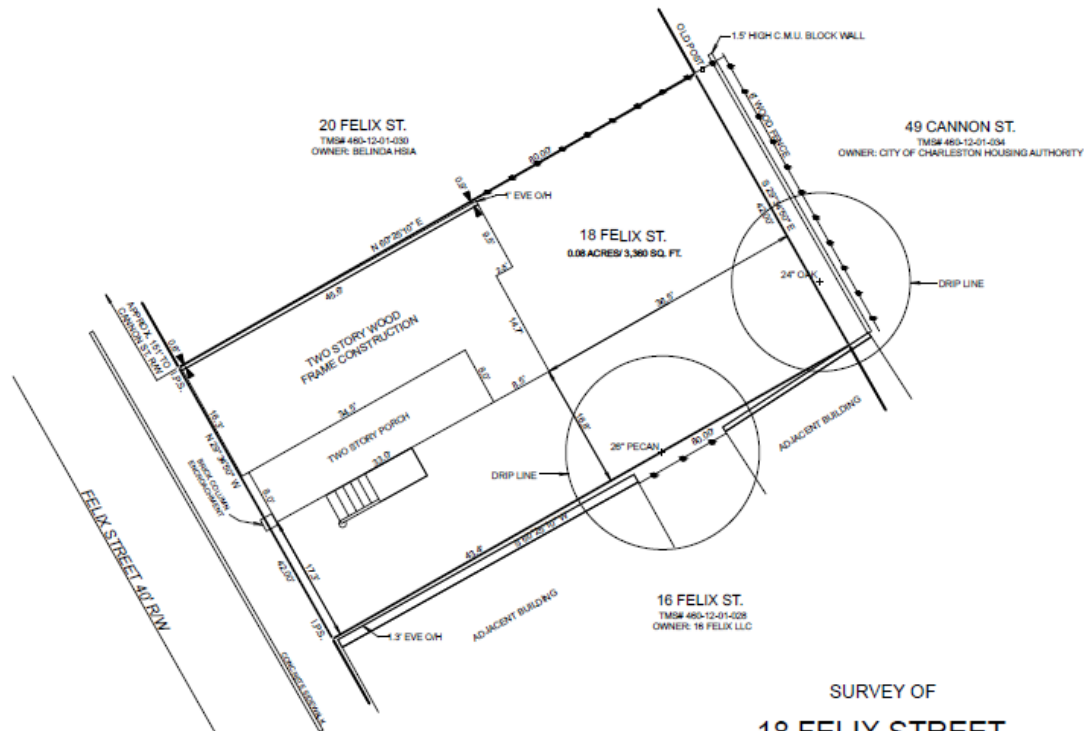
18 Felix St
Charleston SC, 29403

REFERENCES:
1. DEED BOOK 2078, PAGE 592.

NOTES:
1. PROPERTY IS LOCATED IN FLOOD ZONE 'AE(1)' ACCORDING TO F.E.M.A. F.I.R.M. MAP PANEL 45019 0512 C, DATED 11-17-2004.
2. THE AREA SHOWN HERE ON WAS DETERMINED BY THE COORDINATE METHOD.
3. PROPERTY IS ZONED DR-2F.
4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
5. TMS# 460-12-01-028.
6. DEED BK. 2078, PAGE 592.
7. PROPERTY OWNER OF RECORD AT TIME OF SURVEY: JIM CROW.
8. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS SURVEY IS FOR DESCRIPTIVE PURPOSES ONLY, AND WAS NOT SURVEYED.
9. BOUNDARY LINES DEPICTED BASED ON LINES OF OCCUPATION OF LONG DURATION, AND FOUND MONUMENTS.

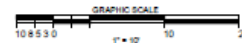
I, HAROLD B. NELSON, JR., A PROFESSIONAL ENGINEER AND LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS TO THE STANDARDS OF PRACTICE MANUAL FOR THE PRACTICE OF SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS, OR EXCEEDS THE REQUIREMENTS FOR A 'CLASS A' SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

HAROLD B. NELSON, JR., S.C.P.E. AND P.L.S. NO. 7023



SURVEY OF
18 FELIX STREET
LOCATED IN THE CITY OF CHARLESTON,
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: 11 FEBRUARY 2017



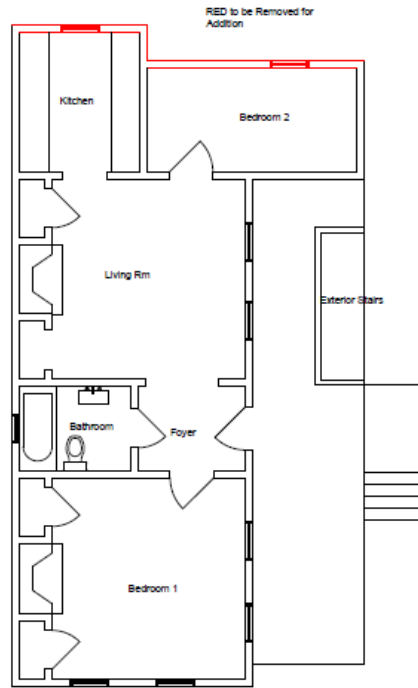
HAROLD B. NELSON JR.
PROFESSIONAL ENGINEER AND
LAND SURVEYOR

2724 MAGNOLIA WOODS ROAD,
MT. PLEASANT, S.C. 29464
TEL: (843)-276-1379

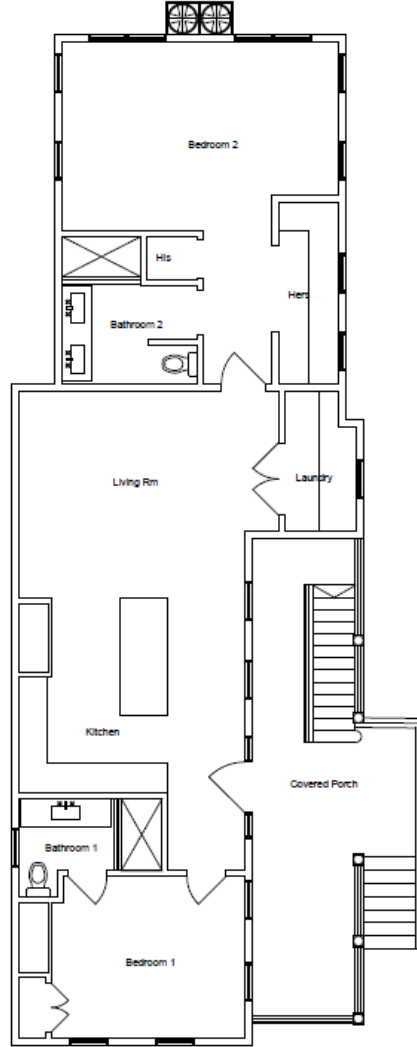
HHM Builders LLC
-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401

18 Felix St
Charleston SC, 29403



UNIT A: 1st Floor Existing
Scale: $\frac{3}{16}$ "



UNIT A: 1st Floor Proposed
Scale: $\frac{3}{16}$ "

HMM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401

18 Felix St

Charleston SC, 29403



West Elevation Existing Scale: $\frac{1}{4}$ "

Add solid cedar shutters
and copper flashing

Restore existing
historic double
hung windows



West Elevation Proposed Scale: $\frac{1}{4}$ "

HHM Builders LLC

Charleston SC

Harrison Malpass
78 Smith St
Charleston SC 29401

18 Felix St
Charleston SC, 29403



South Elevation Proposed Scale: $\frac{3}{16}$ "



South Elevation Existing Scale: $\frac{3}{16}$ "

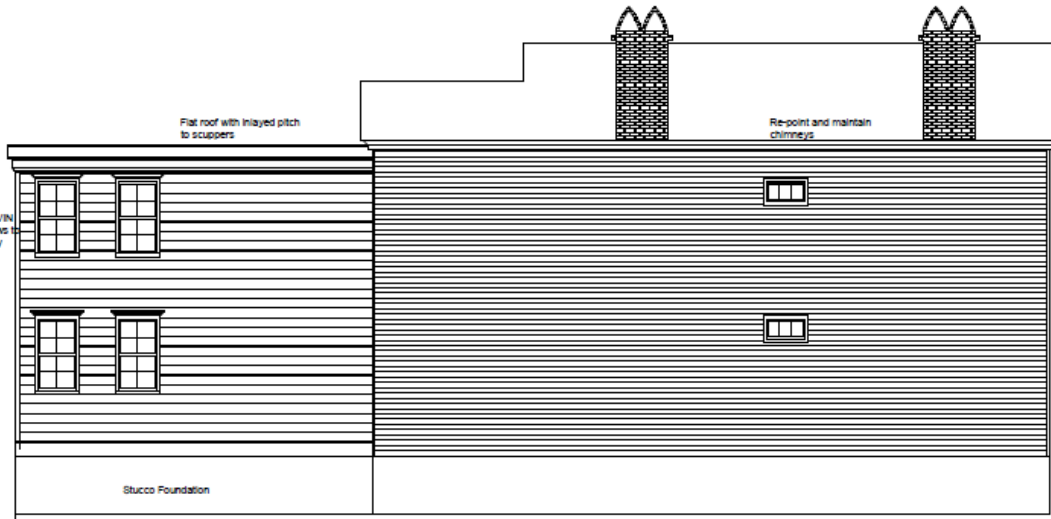
HHM Builders LLC

-----Charleston SC-----

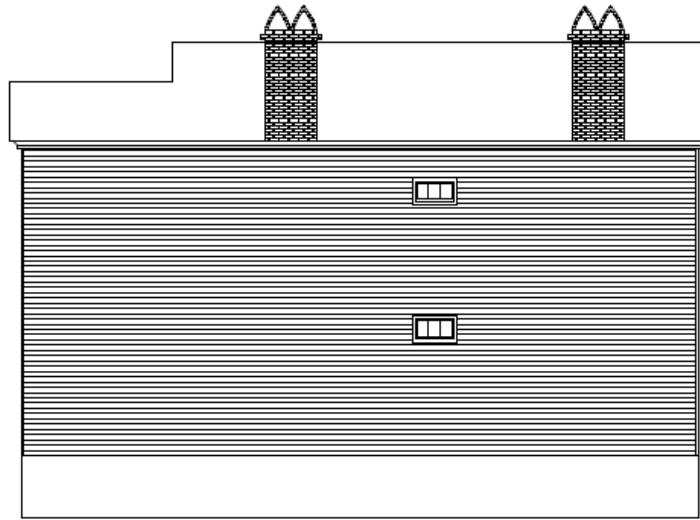
Harrison Malpass
78 Smith St
Charleston SC 29401

18 Felix St
Charleston SC, 29403

All wood clad MARVIN
double hung windows
conform with energy
code/FEMA



North Elevation Proposed Scale: $\frac{3}{16}"$



North Elevation Existing Scale: $\frac{3}{16}"$

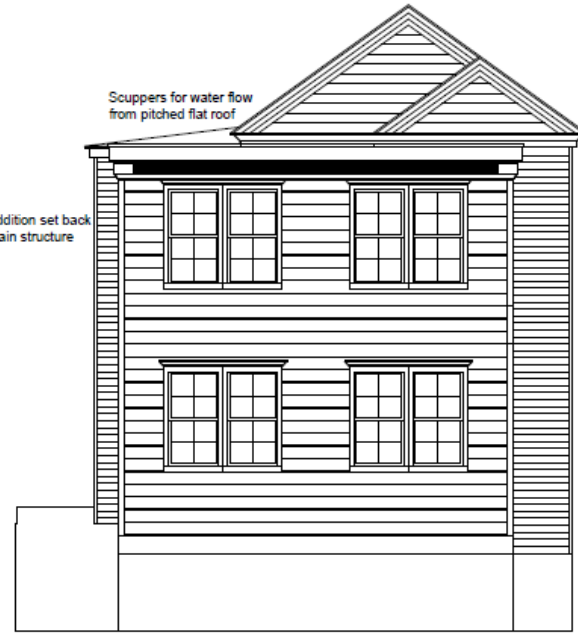
HHM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401



East Elevation Existing Scale: $\frac{1}{4}$ "



East Elevation Proposed Scale: $\frac{1}{4}$ "

HHM Builders LLC

-----Charleston SC-----

Harrison Malpass
78 Smith St
Charleston SC 29401

18 Felix St
Charleston SC, 29403



West/South Elevation



East Elevation



West Elevation



North Elevation

Agenda Item 7:

53 Bogard Street – TMS# 460-08-03-105

Request conceptual approval to add 2nd story balcony extending from existing stair landing.

**Not Rated / Cannonborough- Elliotborough / pre-1888 /
Old City District**

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53 BOGARD STREET CHARLESTON, SC 29403

SCOPE OF WORK:

NEW BRICKS PLEASANT WOOD PORCH
AND RAIL TO CONVERT TO EXISTING BRICK
FLOOR LIVING AND STAIR

NEW BRICKS DOOR IN EXISTING PORCH

EXISTING MIXED USE BUILDING
CONTAINS FIVE UNITS

EXISTING OCCUPANCY

PROPOSED OCCUPANCY

NOT IN SCOPE

UNIT A 0114 sq ft R-2 R-4

UNIT C 2049 sq ft R-2 R-4

UNIT D 038 sq ft R-2 R-4

UNIT E 038 sq ft R-2 R-4

CODE / ZONING INFORMATION

CODING

LOCATION

CITY OF CHARLESTON

APPLICABLE CODES

ALL WORK SUBMITTALS AND INSTALLATION SHALL BE IN STRICT

ACCORDANCE WITH ALL ORDINANCES AND THE LATEST ADOPTED

EDITION OF THE NATIONAL, STATE AND LOCAL BUILDING CODES

INCLUDING BUT NOT LIMITED TO THE 2018 INTERNATIONAL BUILDING

CODE THE IRC, LIRC, CODES, SUPPLY AND HEALTH REQUIREMENTS

AND ENERGY CODES

REVISIONS TO SUBMITTALS

CONSTRUCTION TYPE

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

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CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

CONCRETE/STAINLESS STEEL

REMARKS:

GENERAL NOTES:

PROJECT:

DATE:

BY:

FOR:

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

NO CHANGE

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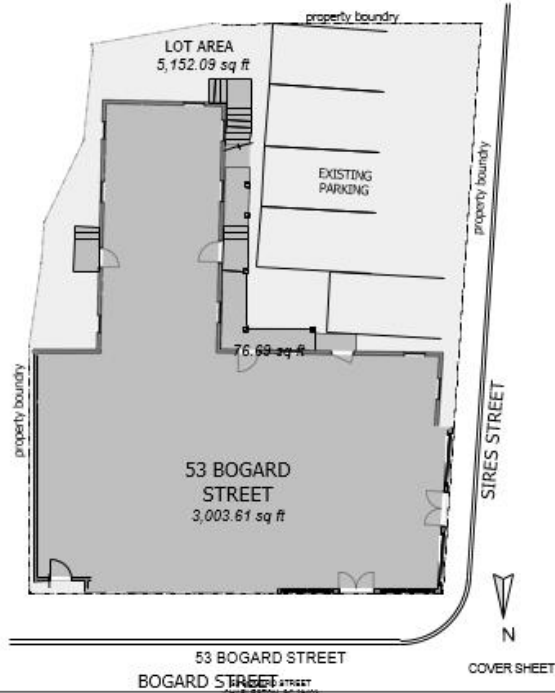
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1 BOGARD STREET ELEVATION - EXISTING AND PROPOSED
SCALE: 1/8" = 1'-0"



NSA
NEIL STEVENSON
ARCHITECTS
680 KENNEDY BLVD
CHARLESTON, SOUTH
CAROLINA 29403
843.853.8800
NEILSTEVENSONARCHITECTS.COM

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NSA Job #: 17-110
JDR: NSG
Drawn By: RGV
Date: 11/16/2020
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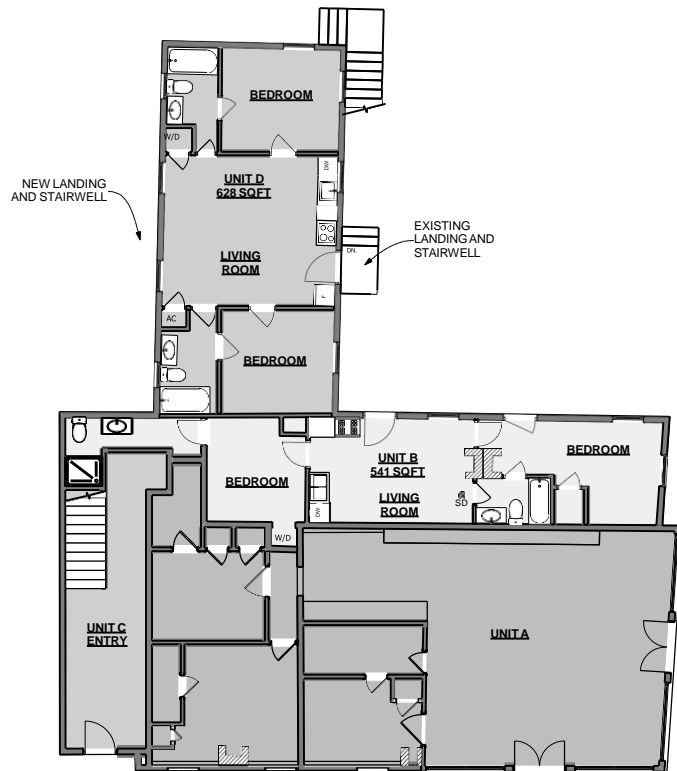
VIEWS FROM SIRES STREET



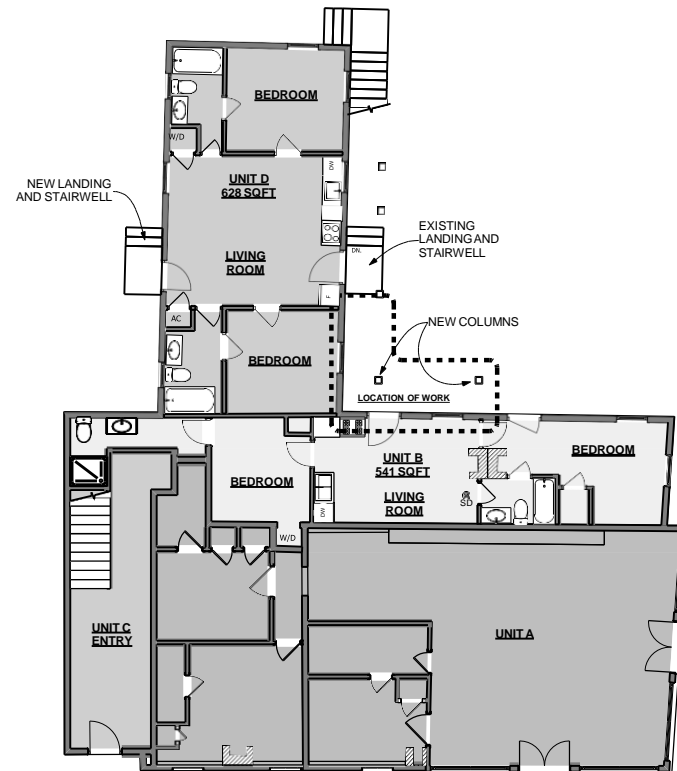
VIEWS FROM 2002 RENOVATION

53 BOGARD STREET
53 BOGARD STREET
CHARLESTON, SC 29403

PHOTOS FROM 2002
RENOVATION



2 FIRST FLOOR PLAN - EXISTING
SCALE: 3/16" = 1'-0"



1 FIRST FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"

53 BOGARD STREET

53 BOGARD STREET
CHARLESTON, SC 29403

FLOOR PLANS -
EXISTING AND
PROPOSED

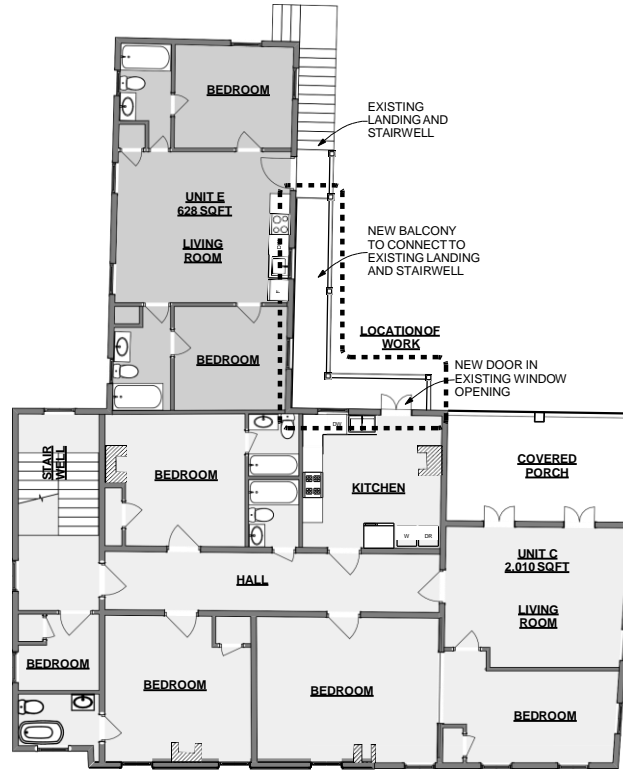


NEIL STEVENSON
ARCHITECTS
680 KING STREET
SUITE B
CHARLESTON, SOUTH
CAROLINA 29403
843.853.8800
NEILSTEVENSON
ARCHITECTS.COM

S	ZONING SET	12/18/17
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B		
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I	NSA Job #: 17.110	
N	AOR: NCS	
F	Drawn By: RBM	
O	Date: 1/16/2018	
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T		



1 SECOND FLOOR PLAN - EXISTING
SCALE: 3/16" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"

53 BOGARD STREET

53 BOGARD STREET
CHARLESTON, SC 29403

FLOOR PLANS -
EXISTING AND
PROPOSED



NEIL STEVENSON
ARCHITECTS
680 KING STREET B
CHARLESTON, SOUTH
CAROLINA 29403
843.853.8800
NEILSTEVENSON
ARCHITECTS.COM

S	ZONING SET	1/13/2017
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NSA Job #: 17.110
ACR: NCS
F Drawn By: RSM
O Date: 1/16/2018

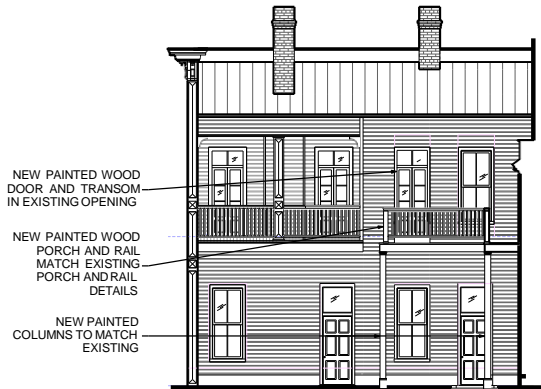
SH
A2.2
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① SOUTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



② SIRES STREET ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"



③ SOUTH ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"



④ SIRES STREET ELEVATION - PROPOSED
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS
- EXISTING AND
PROPOSED

53 BOGARD STREET
CHARLESTON, SC 29403

SUBMITTAL
NSA Job #: 17.110
ACR: NCS
Drawn By: RSM
O Date: 1/16/2018
SHEET
A3.1

Agenda Item 8:

544 King Street – TMS#460-11-02-095

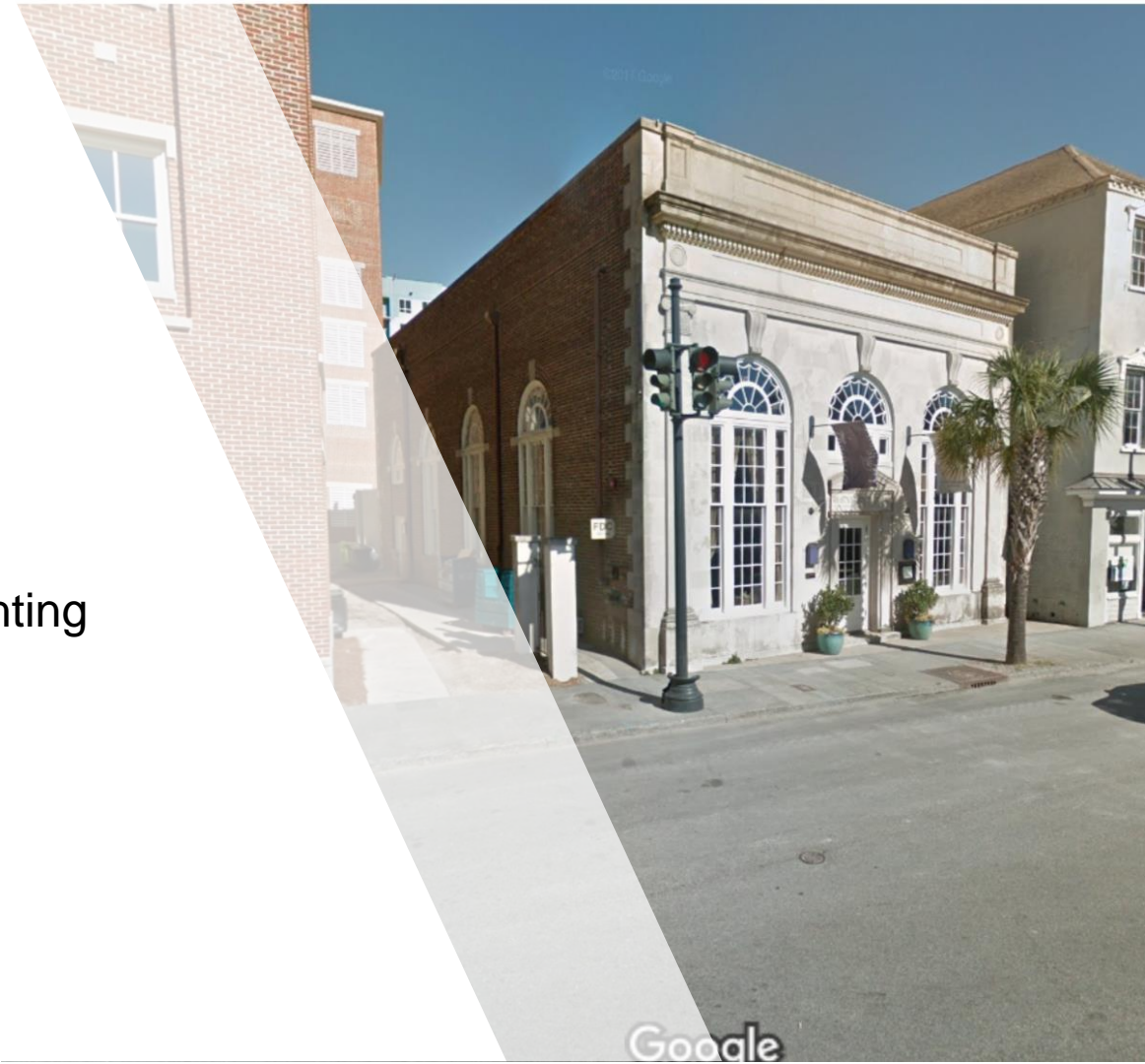
Request final approval to install string lighting

**Category 4 / Cannonborough-Elliotborough / 1902-1944 /
Old City District**

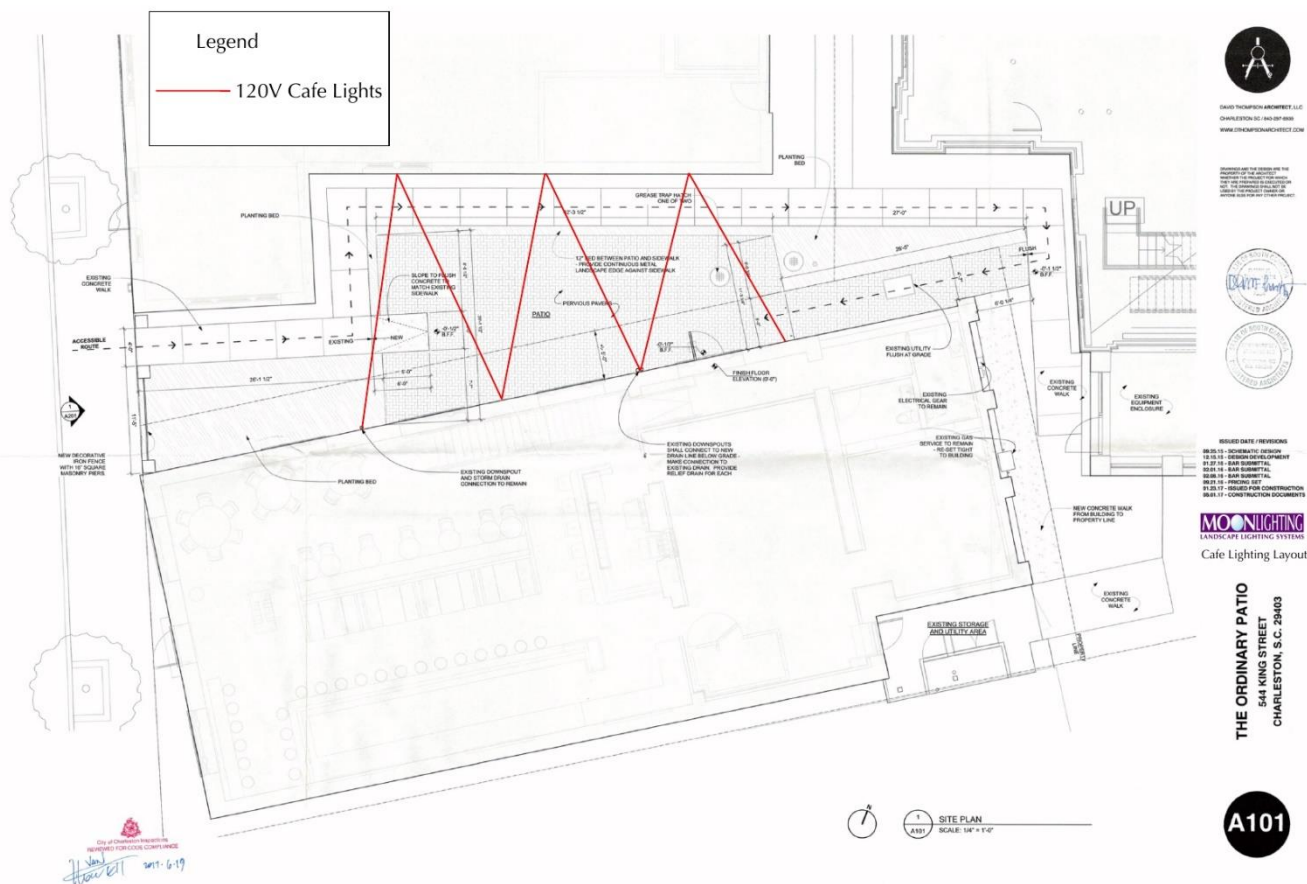
The Ordinary

544 King Street

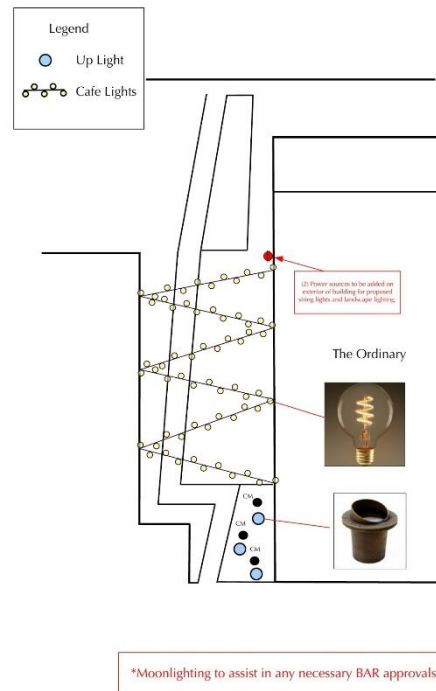
Moonlighting Landscape Lighting
Systems



The Ordinary Patio Café Lighting Design



The Ordinary Patio Café Lighting Design (With Landscape Lighting)



The Ordinary Patio Café Lighting Proposal



1623-B Meeting Street
Charleston, SC 29405
(843) 853-3221
www.moonlightinglls.com

To: The Ordinary
544 King Street
Charleston, SC 29401

Proposal

Date: 12/6/2017

Phone:

Project Name: All Zones (Revised)
Landscape Lighting

We hereby submit specifications and estimates for:

The design of the landscape lighting system for the above project.

	Cat No	Café string lights, black, medium base 2' spacing
	Cat No	LED edison style bulb, spiral filament, medium base, 3.15" diameter globe
	Misc.	Galvanized support wire, zip ties, switch and all necessary hardware
3	CM-390	Copper Moon brass inground well light
3	LED5-MR16-WW60	LED MR-16 5 watt, warm white 60 degree
1	T-P150-SS	150W 12-15 Volt Tap Stainless Steel Transformer
1	T-DT-200	Plug-in astronomical time clock with battery back up
170	12-2 LC	12 - 2 Low Voltage wire
	Misc.	All necessary hardware

Note: Contract price reflects pricing for café string lighting and landscape lighting.

Proposed string lighting to be supported by galvanized wire and stainless steel eye hooks that are to be mounted on The Ordinary and neighboring building.

Contract assumes that permission has been granted to mount eye hooks on neighboring building.

Proposed string lights are to be controlled by a switch, supplied by Moonlighting

Moonlighting to assist in the necessary BAR approvals.

Contract price does not include costs for the required exterior power source(s) for string lighting and landscape lighting.

Proposed up lighting to be controlled by a 24-hour astronomical time clock.

We propose to furnish material and labor-complete in accordance with the above specifications, for the sum of

Five Thousand Six Hundred Seventy One Dollars & 69/100 **\$5,671.69**



1623-B Meeting Street
Charleston, SC 29405
(843) 853-3221
www.moonlightinglls.com

To: The Ordinary
544 King Street
Charleston, SC 29401

Proposal

Date: 12/6/2017

Phone:

Project Name: All Zones (Revised)
Landscape Lighting

Payment to be made as follows:

40% at start of project.	\$2,268.68
Balance upon completion	\$3,403.01

Authorized
Signature

Matt Carli

Designer

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Guaranteed by Moonlighting:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment to be made as outlined above. ARB, NOA or any necessary approvals are to be completed by others. Moonlighting is available to assist in this process for a cost additional to the contract price.

Authorized
Signature(s):


Date of Acceptance:


Anchor Specifications

1/29/2018 Shop National Hardware 4-in 5/16-in Lag Screws at Lowes.com
FREE PARCEL SHIPPING WITH MYLOWE'S. GET STARTED >

Lowes Open until 9PM!
W. Ashley Lowe's

Prices, promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

National Hardware 4-in 5/16-in Lag Screws
Item # 606520 Model # N197-236  [reviews](#) **No**




\$1.72

FREE Store Pickup **Shipping & Delivery**

7 available today at W. Ashley Lowe's! Available!

Aisle 14 , Bay 15

 Get 5% OFF* Every Day
Subject to credit approval. Exclusions apply. Cannot be combined with Special Financing. [Get Details >](#)

Product Information

 Description


<https://www.lowes.com/pd/National-Hardware-4-in-5-16-in-Lag-Screws/50414078>

1/2

1/29/2018 Shop National Hardware 4-in 5/16-in Lag Screws at Lowes.com

Whether for home, farm, builder or industrial customers, National has all the right hardware in the sizes and finishes you need. With over a century of service National is committed to maintaining the highest level of product quality, innovation and manufacturing technology.

- Designed for marine and other outdoor projects
- Medium weight to heavy weight
- Lag screw threads
- Manufactured from stainless steel
- Non-magnetic

 Specifications

Series Name	N/A	Material	Steel
Actual Length (Inches)	4	Package Quantity	1
Screw Thickness	5/16-in	Color/Finish	CHAT WITH LOWE'S
Head Type	Eye	Warranty	Limited lifetime

Need Help?
Call 1-800-445-8937

Products & Sales
Call 1-877-GO-LOWES

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<https://www.lowes.com/pd/National-Hardware-4-in-5-16-in-Lag-Screws/50414078>

2/2

LED Edison Style Lamp Specifications

BULBRITE
turn life on



Curved Filaments G25

4W LED G25 2200K CURVED FILAMENT NOSTALGIC
SPIRAL
Item #778512
Ordering Code LEDG25/22KFL-NOS/CURV/SPIRAL

- NEW
- Filaments are moldable to mimic all styles of nostalgic incandescents
- Fully compatible on ALL dimmer types
- 4W LED = 40W INCANDESCENT

TECHNICAL SPECIFICATIONS

Item #	Watts	Bulb Type	Base	Color	Color Temp.	CRI	Avg. Life	MOO	Volts	Lumens	MOL	Beam
778512	4	G25	E26	Amber Light	2200K	85	15,000	3.150"	120	190	4.650"	N/A

Socket/String Specifications

1/24/2018

Suspended Heavy Duty Light String Bulk 330' - Novelty Lights, Inc.



All Orders Placed Before 5pm MST Ship The Same Day
CONTACT THE EXPERTS
800-209-6122

Home / Outdoor String Lights / Commercial Grade Light Strings / Black Wire Commercial Grade Light Strings /
330' Suspended Black Commercial Grade Stringer (E26 Base)



<https://www.noveltylights.com/suspended-commercial-grade-light-stringer-black-330-feet>

1/3

1/24/2018

Suspended Heavy Duty Light String Bulk 330' - Novelty Lights, Inc.

330' Suspended Black Commercial Grade Stringer (E26 Base)

☐ Add to wishlist ☐ Add to compare list

SKU:HD-MBS-165-24BK

Availability: **5 in stock - Ships Today**

Manufacturer: **Novelty Lights Inc.**

★★★★★ 2 Reviews

PRICE BREAKS

Quantity	Price
5+	\$220.50

1

Add to cart

\$220.50

\$ 245.00

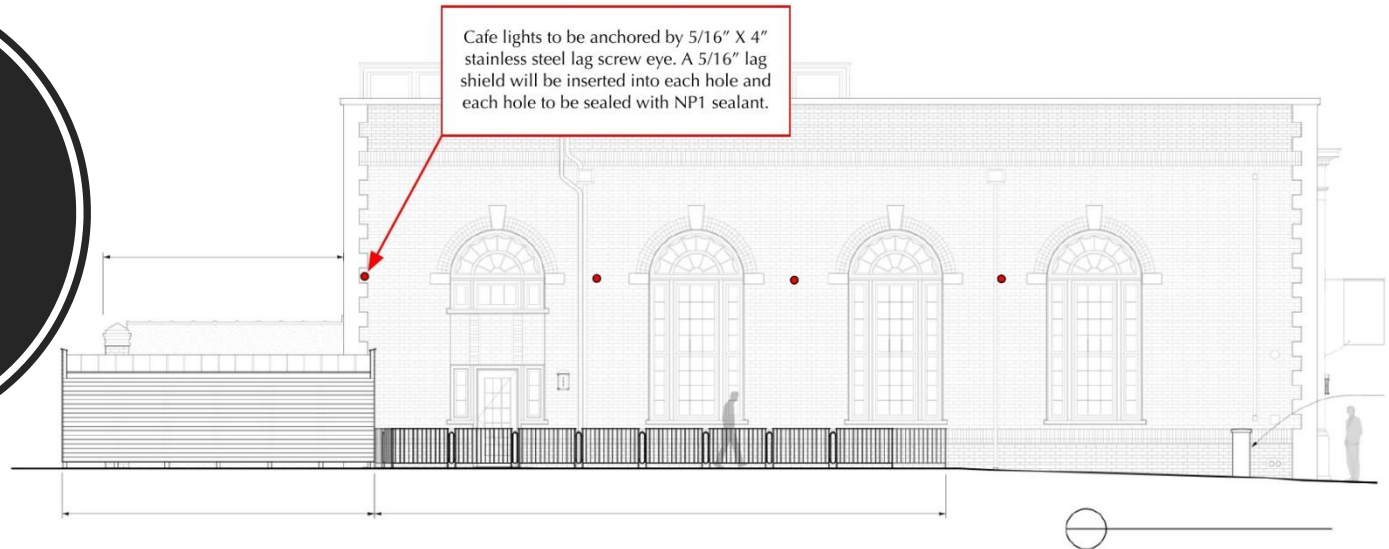
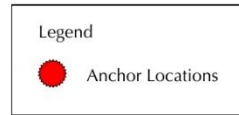
Overview	Customer Reviews	Specifications	Q and A	Contact Us
Total String Length				330 Feet
Socket Display				Suspended
Drop Length				4 Inches
Sockets Per Stringer				165 Sockets
Max Watts				1250 Watts
Max Amps				10 Amps
Socket Type				e26 Medium Base
Fits Bulb Type				S14(e26 Base)
Fits Bulb Type				Edison(e26 Base)
Fits Bulb Type				Vintage(e26 Base)
Socket Spacing				24 Inches
Wire Type				SPT-2
Wire Color				Black Wire
Wire Gauge				18 AWG
Voltage				120V
Connection				Sold Separately
Socket Max Watts				25 Watts
Bulbs Included				No
Use				Indoor/Outdoor
Case Quantity				1 Spool

Related products

<https://www.noveltylights.com/suspended-commercial-grade-light-stringer-black-330-feet>

2/3

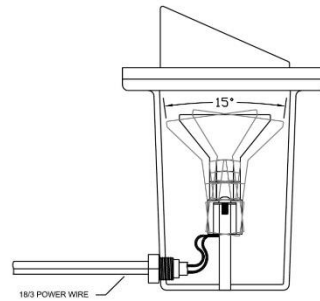
The Ordinary Anchor Locations



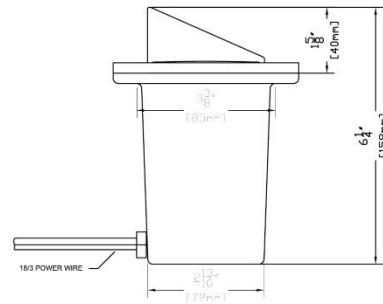
The Ordinary Neighboring Anchor Locations



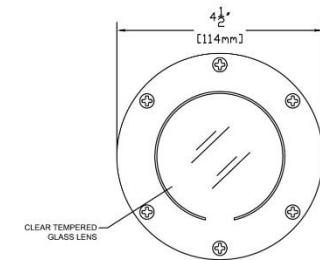
Up Light Specification



SIDE VIEW WITH ROTATION



SIDE VIEW WITH DIMENSIONS



TOP VIEW WITH DIMENSIONS

FEATURES:

- DIE CAST BRASS HOUSING
- DIE CAST BRASS EYEBROW
- GRATE FACE PLATE (OPTIONAL)
- FLUSH MOUNT PLATE (OPTIONAL)
- HIGH HEAT GASKET
- BERYLLIUM ARTICULATING 15 DEGREE +/- SOCKET WITH 68 183 POWER LEAD

FINISHES:

- RAW BRASS
- ANTIQUE BRASS

LAMPS:

- 12 VOLT MR-16 IN 10, 20, 35 & 50 WATTS WITH A 12, 24, 36 & 80 DEGREE SPREAD. EXCEPTION: 10 WATT ONLY AVAILABLE IN 35 DEGREE SPREAD
- 60 WATT MAXIMUM
- LED MR-16s

LENS:

- .5mm CLEAR FORGED BOROSILICATE GLASS


ACCESSORIES:

- MR-16 HONEYCOMB LOUVER
- MR-16 LAMP CLIP HOLDER
- MR-16 CLEAR SPREAD LENS
- MR-16 FRI SMAT C LENS
- MR-16 COLORED LENSES - SPECIFY
- 25H & 50R 182 LEADS AVAILABLE



SHOWN IN ANTIQUE FINISH



 CopperMoon WELL & INGROUND CM 390	
901 3rd AVE. WEST POINT, GA 31833 1-800-727-5453 www.coppermoon.com	
SIZE 1/2"	MANUFACTURED BY DAVID SANDERS
CLASSIFICATION WELL & INGROUND	DATE MARCH 22, 2017

LED Lamp Specification (For Up Light)



SPECIFICATION SHEET

Type: _____

Model: _____

Project: _____

MR16 5 W LED Lamps

SPECIFICATIONS

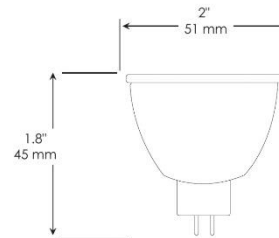
BASE: GU5.3 bi-pin base

VOLTAGE: 12 V

WATTAGE: 5 W

CRI: 85+

WARRANTY: Five years



The 12-volt MR16 5-watt LED lamp is fully dimmable and utilizes Cree chip technology. Warranted for 5 years, it will last in most applications for more than 50,000 hours. UL approved for enclosed fixtures and damp locations.

MODEL	BEAM SPREAD	COLOR TEMPERATURE	CBCP	LUMENS	EFFICACY	CRI
486785 LED-MR16-5XBD-27K-15°	15°	2700 K (ultrawarm)	1690	300	60 lm/W	85+
486828 LED-MR16-5XBD-WW-15°	15°	3000 K (warm)	1694	320	62 lm/W	85+
486786 LED-MR16-5XBD-27K-25°	25°	2700 K (ultrawarm)	1084	300	60 lm/W	85+
486831 LED-MR16-5XBD-WW-25°	25°	3000 K (warm)	1098	320	62 lm/W	85+
486787 LED-MR16-5XBD-27K-40°	40°	2700 K (ultrawarm)	820	300	60 lm/W	85+
486818 LED-MR16-5XBD-WW-40°	40°	3000 K (warm)	818	320	62 lm/W	85+
486788 LED-MR16-5XBD-27K-60°	60°	2700 K (ultrawarm)	410	300	60 lm/W	85+
486825 LED-MR16-5XBD-WW-60°	60°	3000 K (warm)	420	320	62 lm/W	85+
486789 LED-MR16-5XBD-27K-100°	100°	2700 K (ultrawarm)	205	300	60 lm/W	85+
486834 LED-MR16-5XBD-WW-100°	100°	3000 K (warm)	205	320	62 lm/W	85+

Agenda Item 9:

**560 King Street - - TMS# 460-08-04-
022/023/024/025/026/027/028/029/052**

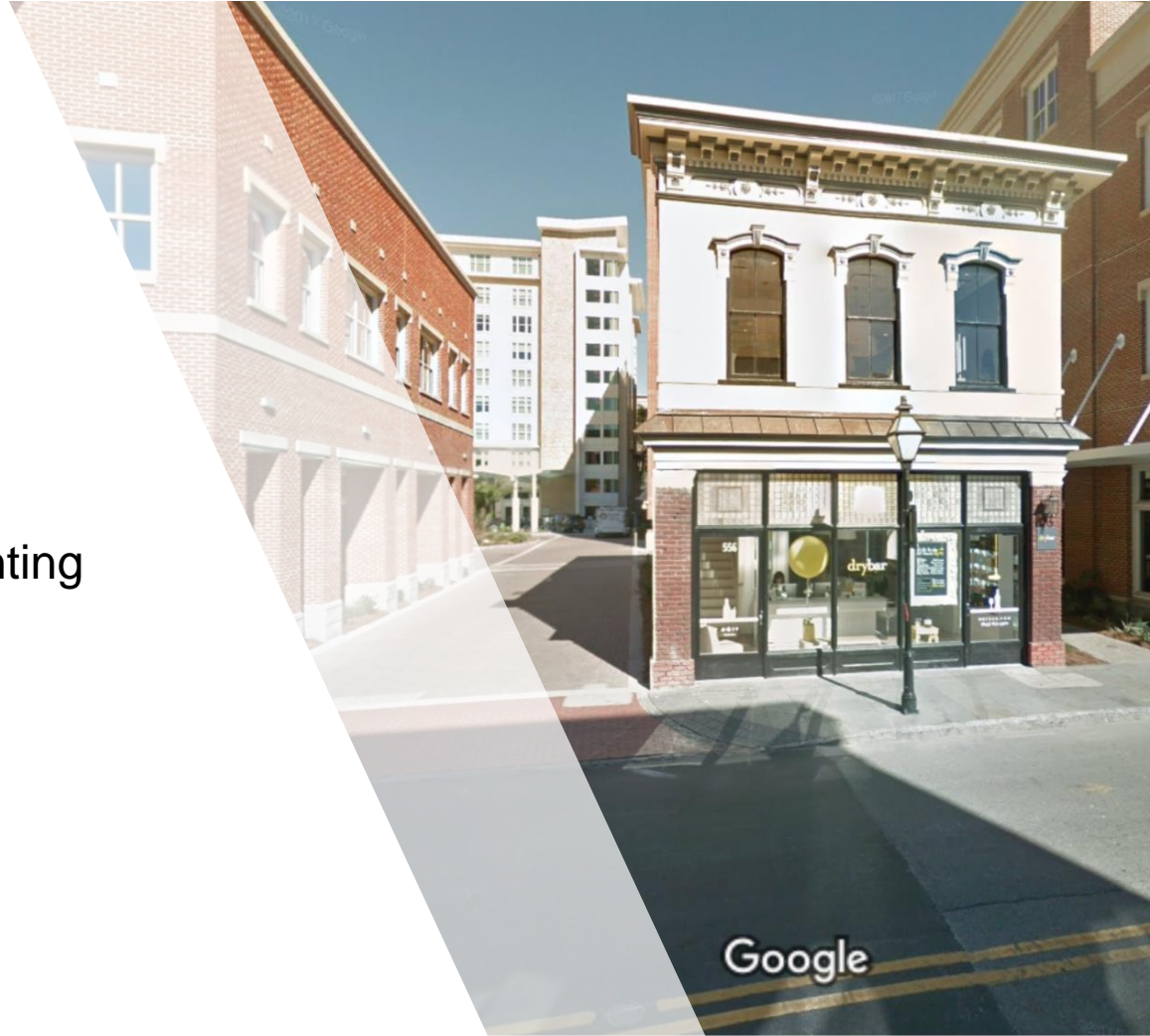
Request final approval to install string lighting.

Not Rated / Cannonborough-Elliotborough / 2015 / Old City District

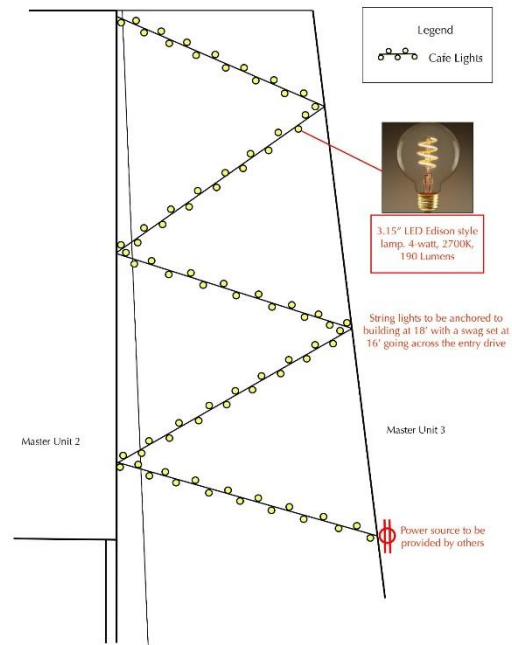
Hyatt Place

560 King Street

Moonlighting Landscape Lighting
Systems



Hyatt Place Café Lighting Design



Hyatt Place Café Lighting Proposal



1623-B Meeting Street
Charleston, SC 29405
(843) 853-3221
www.moonlightinglls.com

To: Hyatt Place Hotel
560 King St
Charleston, SC 29403

Proposal

Date: 1/29/2018

Phone:

Project Name: Café Lighting/Entry Driveway
Landscape Lighting

We hereby submit specifications and estimates for:

The design of the landscape lighting system for the above project.

Cat No	Café string lights, black, medium base 2' spacing
Cat No	LED edison style bulb, spiral filament, medium base, 3.15" diameter globe
Misc.	Galvanized support wire, zip ties and all necessary hardware

Note: Proposed string lighting to be supported by galvanized wire and stainless steel eye hooks.
Contract assumes that permission has been granted to mount eye hooks on neighboring buildings.
An exterior power source is to be located per the provided design, supplied by others.
Proposed string lights are to be controlled by the existing circuit currently controlling the existing exterior sconces.
Moonlighting to assist in the necessary BAR approvals.

We propose to furnish material and labor-complete in accordance with the above specifications, for the sum of	
Five Thousand Six Hundred Fifteen Dollars & 7/100	\$5,615.07

Payment to be made as follows:		Guaranteed by Moonlighting:
40% at start of project.	\$2,246.03	All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.
Balance upon completion	\$3,369.04	
Authorized Signature		
Matt Carl	Designer	

Note: This proposal may be withdrawn by us if not accepted within 30 days.

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment to be made as outlined above. ARB, HOA or any necessary approvals are to be completed by others. Moonlighting is available to assist in this process for a cost additional to the contract price.

Authorized Signature(s): _____


Date of Acceptance: _____


Anchor Specifications

1/29/2018 Shop National Hardware 4-in 5/16-in Lag Screws at Lowes.com
FREE PARCEL SHIPPING WITH MYLOWE'S. GET STARTED >

Lowes Open until 9PM!
W. Ashley Lowe's

Prices, promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

National Hardware 4-in 5/16-in Lag Screws
Item # 606520 Model # N197-236  [reviews](#) **No**




\$1.72


FREE Store Pickup **Shipping & Delivery**

7 available today at W. Ashley Lowe's! Available!

Aisle 14 , Bay 15

 Get 5% OFF* Every Day
Subject to credit approval. Exclusions apply. Cannot be combined with Special Financing. [Get Details >](#)

Product Information


 Description

<https://www.lowes.com/pd/National-Hardware-4-in-5-16-in-Lag-Screws/50414378> 1/2

1/29/2018 Shop National Hardware 4-in 5/16-in Lag Screws at Lowes.com

Whether for home, farm, builder or industrial customers, National has all the right hardware in the sizes and finishes you need. With over a century of service National is committed to maintaining the highest level of product quality, innovation and manufacturing technology.

- Designed for marine and other outdoor projects
- Medium weight to heavy weight
- Lag screw threads
- Manufactured from stainless steel
- Non-magnetic

 Specifications

Series Name	N/A	Material	Steel
Actual Length (Inches)	4	Package Quantity	1
Screw Thickness	5/16-in	Color/Finish	CHAT WITH LOWE'S
Head Type	Eye	Warranty	Limited lifetime

Need Help?
Call 1-800-445-8937

Products & Sales
Call 1-877-GO-LOWES

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LED Edison Style Lamp Specifications



Curved Filaments G25

4W LED G25 2200K CURVED FILAMENT NOSTALGIC
SPRNL
Item #776512
Ordering Code LED4G25/22KFL-ND/SCURVSPRNL

- NEW
- Filaments are moldable to mimic all styles of nostalgic incandescents
- Fully compatible on ALL dimmer types
- 4W LED = 40W INCANDESCENT

TECHNICAL SPECIFICATIONS

Item #	Watts	Bulb Type	Base	Color	Color Temp.	CRI	Avg. Life	MOD	Volts	Lumens	MOL	Beam
776512	4	G25	E26	Amber Light	2200K	85	15,000	3.150"	120	190	4.650"	N/A

Socket/String Specifications

1/24/2018

Suspended Heavy Duty Light String Bulk 330' - Novelty Lights, Inc.



All Orders Placed Before 5pm MST Ship The Same Day
CONTACT THE EXPERTS
800-209-6122

Home / Outdoor String Lights / Commercial Grade Light Strings / Black Wire Commercial Grade Light Strings /
330' Suspended Black Commercial Grade Stringer (E26 Base)



<https://www.noveltylights.com/suspended-commercial-grade-light-stringer-black-330-feet>

1/3

1/24/2018

Suspended Heavy Duty Light String Bulk 330' - Novelty Lights, Inc.

330' Suspended Black Commercial Grade Stringer (E26 Base)

☐ Add to wishlist ☐ Add to compare list

SKU:HD-MBS-165-24BK

Availability: **5 in stock - Ships Today**

Manufacturer: **Novelty Lights Inc.**

★★★★★ 2 Reviews

PRICE BREAKS

Quantity	Price
5+	\$220.50

1

Add to cart

\$355.00
\$ 245.00

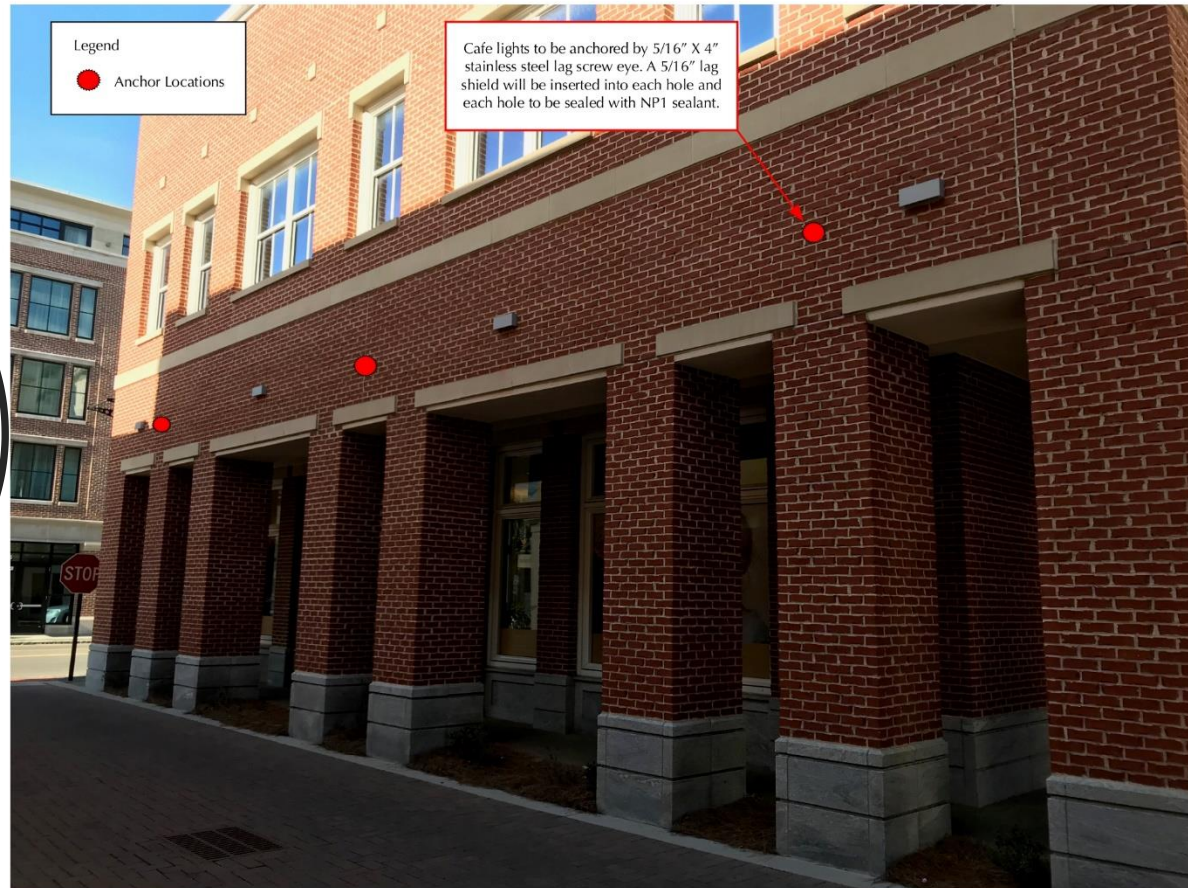
Overview	Customer Reviews	Specifications	Q and A	Contact Us
Total String Length				330 Feet
Socket Display				Suspended
Drop Length				4 Inches
Sockets Per Stringer				165 Sockets
Max Watts				1250 Watts
Max Amps				10 Amps
Socket Type				e26 Medium Base
Fits Bulb Type				S14(e26 Base)
Fits Bulb Type				Edison(e26 Base)
Fits Bulb Type				Vintage(e26 Base)
Socket Spacing				24 Inches
Wire Type				SPT-2
Wire Color				Black Wire
Wire Gauge				18 AWG
Voltage				120V
Connection				Sold Separately
Socket Max Watts				25 Watts
Bulbs Included				No
Use				Indoor/Outdoor
Case Quantity				1 Spool

Related products

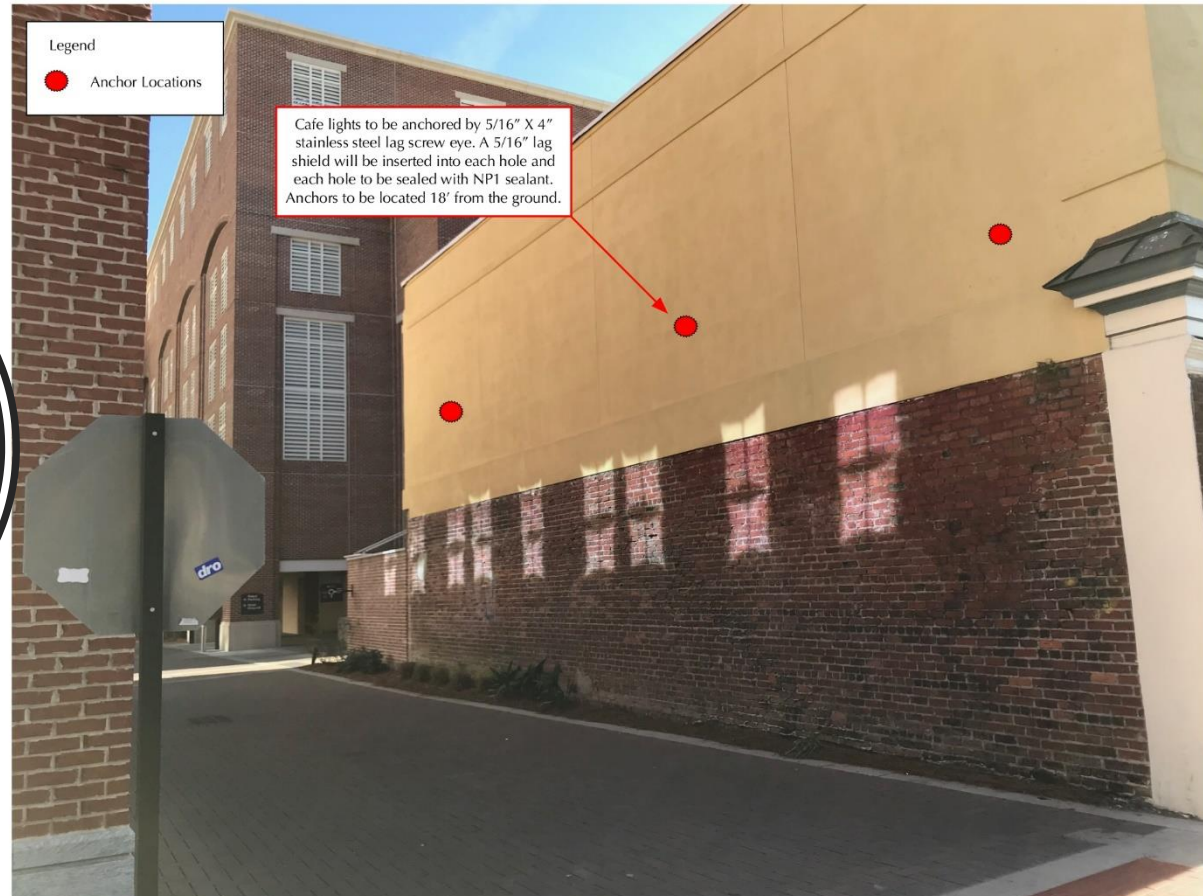
<https://www.noveltylights.com/suspended-commercial-grade-light-stringer-black-330-feet>

2/3

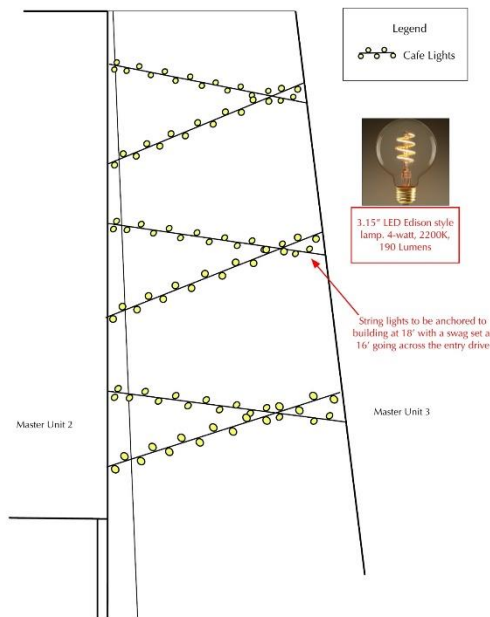
Anchor Locations (Master Unit 3)



Anchor Locations (Master Unit 2)



Hyatt Place Café Lighting Design- Option 1 (Alternative Layout)



Hyatt Place Café Lighting Design- Option 1 Proposal (Alternative Layout)



1623-B Meeting Street
Charleston, SC 29405
(843) 853-3221
www.moonlightinglls.com

To: Hyatt Place Hotel
560 King St
Charleston, SC 29403

Proposal

Date: 1/29/2018

Phone:

Project Name: Café Lighting/Entry Driveway
Landscape Lighting- Option I

We hereby submit specifications and estimates for:

The design of the landscape lighting system for the above project.

Cat No	Café string lights, black, medium base 2' spacing
Cat No	LED edison style bulb, spiral filament, medium base, 3.15" diameter globe
Misc.	Galvanized support wire, zip ties and all necessary hardware

Note: Proposed string lighting to be supported by galvanized wire and stainless steel eye hooks.
Contract assumes that permission has been granted to mount eye hooks on neighboring buildings.
An exterior power source is to be located per the provided design, supplied by others.
Proposed string lights are to be controlled by the existing circuit currently controlling the existing exterior sconces.
Moonlighting to assist in the necessary BAR approvals.

We propose to furnish material and labor-complete in accordance with the above specifications, for the sum of
Six Thousand Nine Hundred Five Dollars & 42/100 **\$6,905.42**

Payment to be made as follows:

40% at start of project.	\$2,762.17
Balance upon completion	\$4,143.25

Authorized
Signature

Matt Carl

Designer

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Guaranteed by Moonlighting:

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire and other necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment to be made as outlined above. ARB, HOA or any necessary approvals are to be completed by others. Moonlighting is available to assist in this process for a cost additional to the contract price.

Authorized
Signature(s):

Date of Acceptance:

Agenda Item 10:

110 King Street – TMS# 457-12-04-053

Request conceptual approval to re-clad existing addition over piazza, add vertical addition over hyphen, and add rear addition.

Category 3 / Charlestowne / pre-1884 / Old and Historic District

1. DEED BOOK A533, PAGE 102.
2. PLAT BOOK 'EB', PAGE 367.
3. PLAT BOOK 'S16', PAGE 0112.

1. PROPERTY IS LOCATED IN FLOOD ZONES "AE13" AND ZONE "X" ACCORDING TO U.S.A. F.J.R.M. MAP PANEL 43019 5018 C, DATED 11-17-2004.

2. AREA SHOWN HEREIN WAS DETERMINED BY THE COORDINATE METHOD.

3. PROPERTY IS ZONED SR-5.

4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD INCLUDING EASEMENTS, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

5. TMS68 467-12-04-053.

6. DEED KB 4533, PAGE 102.

7. PROPERTY OWNER OF RECORD AT TIME OF SURVEY: MCQUILLAN FINGERPRINTERS, LLC.

8. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS SURVEY IS FOR DESCRIPTIVE PURPOSES ONLY, AND DOES NOT REPRESENT ANY CLAIM OF INTEREST.

9. BOUNDARY LINES DEPICTED BASED ON LINES OF OCCUPATION OF LONG DURATION, AND FOUND MONUMENTS.

CITY OF CHARLESTON
TMS# 457-12-04-016

KING STREET R/W VARIES

0 KING STREET
EE STORY WOOD
ME CONTRUCTION

UNIT B
110 1/2 KING STREET
TWO STORY WOOD
FRAME CONSTRUCTION

Diagram of a frame control section showing a vertical member with a width of 25.5 inches.

106 KING ST.
TMS# 457-12-04-151
OWNER: MARY E. WALTERS

108 KING ST.
TMS# 457-12-04-052
OWNER: 1031 EXCHANGE INC.

SURVEY OF
110 KING STREET
HORIZONTAL PROPERTY REGIME
(0.05 ACRES/ 2,188 SQ. FT.)
LOCATED IN THE CITY OF CHARLESTON,
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: 1 JUNE 2017



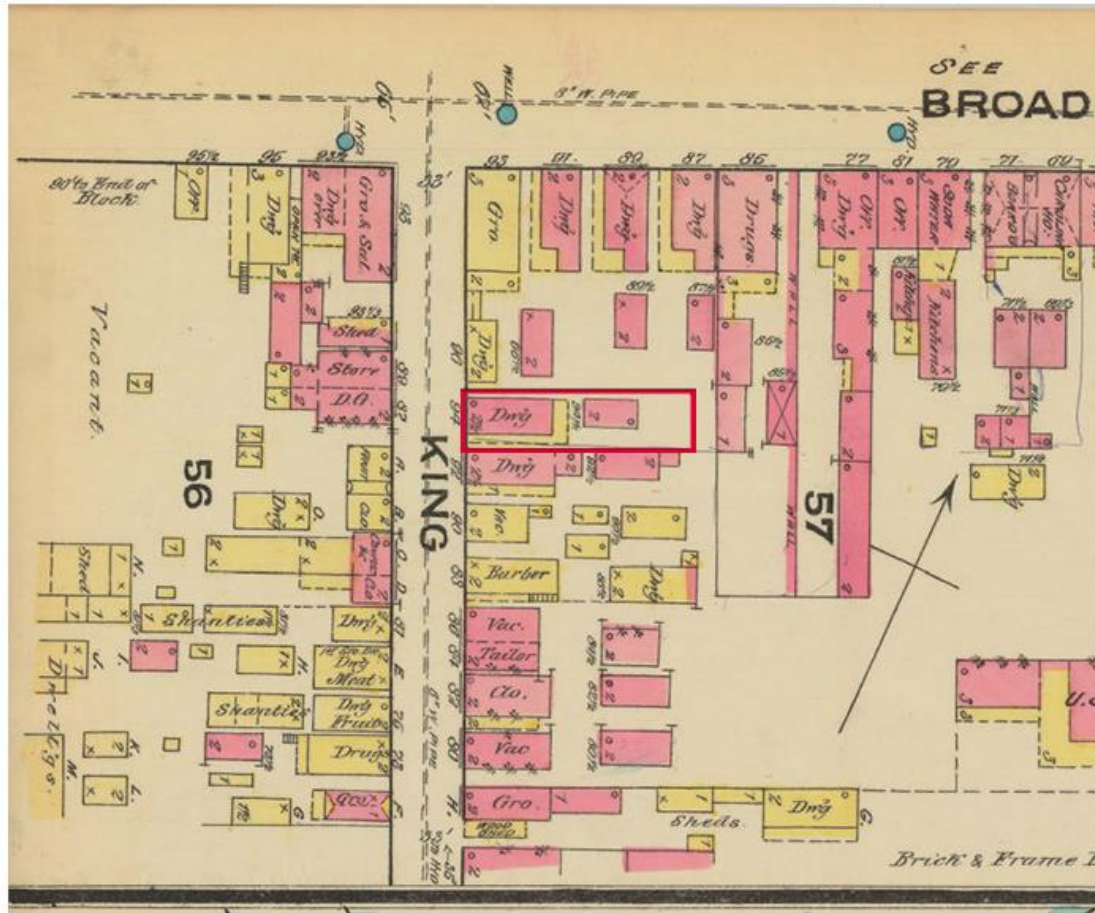
I, HAROLD B. NELSON, JR., A PROFESSIONAL ENGINEER AND LAND SURVEYOR
IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY
PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS TO THE STANDARDS OF PRACTICE MANUAL
FOR THE PRACTICE OF SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS,
OR EXCEEDS THE REQUIREMENTS FOR A "CLASS A" SURVEY AS SPECIFIED THEREIN.
ALSO, THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE
PROPERTY OTHER THAN THOSE SHOWN.

Harold Nelson
HAROLD B. NELSON, JR. S.C.P.E. AND P.L.S. NO. 7023

HAROLD B. NIELSON JR.
PROFESSIONAL ENGINEER AND
LAND SURVEYOR

2724 MAGNOLIA WOODS ROAD,
MT. PLEASANT, S.C. 29464
TEL: (843)-276-1379

SANBORN MAPS



1884



1888



103 BROAD STREET (NEIGHBOR)



110 KING STREET (BAUERRESI-



108 KING STREET (NEIGHBOR)



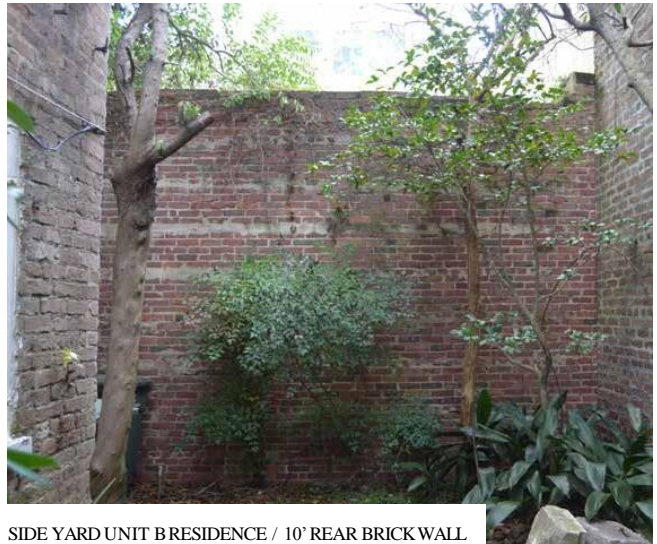
105 KING STREET (NEIGHBOR ACROSS STREET)



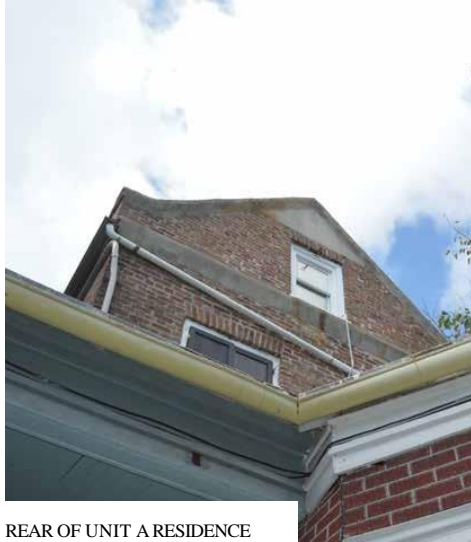
REAR OF UNIT B RESIDENCE, LOOKING NORTH



ENTRY TO UNIT B RESIDENCE



SIDE YARD UNIT B RESIDENCE / 10' REAR BRICK WALL



REAR OF UNIT A RESIDENCE



VIEW FROM UNIT B RESIDENCE, LOOKING EAST



BRICK WALK (TOWARDS STREET)



PORCH (TOWARDS STREET)



UNIT A EXISTING BAY WINDOW



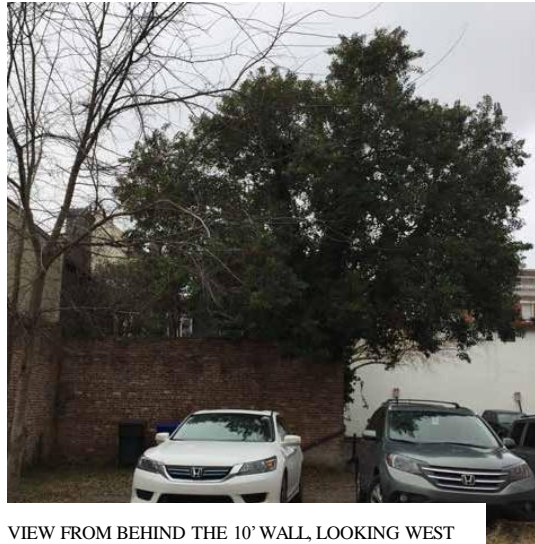
UNIT A EXISTING BAY WINDOW



UNIT A EXISTING BAY WINDOW



VIEW FROM BROAD STREET, LOOKING SOUTH



VIEW FROM BEHIND THE 10' WALL, LOOKING WEST



EXISTING KITCHEN WINDOW



NORTH SIDE OF UNIT B



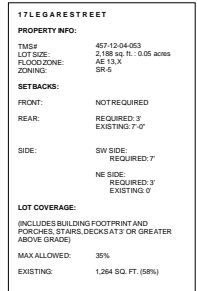
NORTH SIDE OF UNIT A



NORTH SIDE OF UNIT B, LOOKING EAST



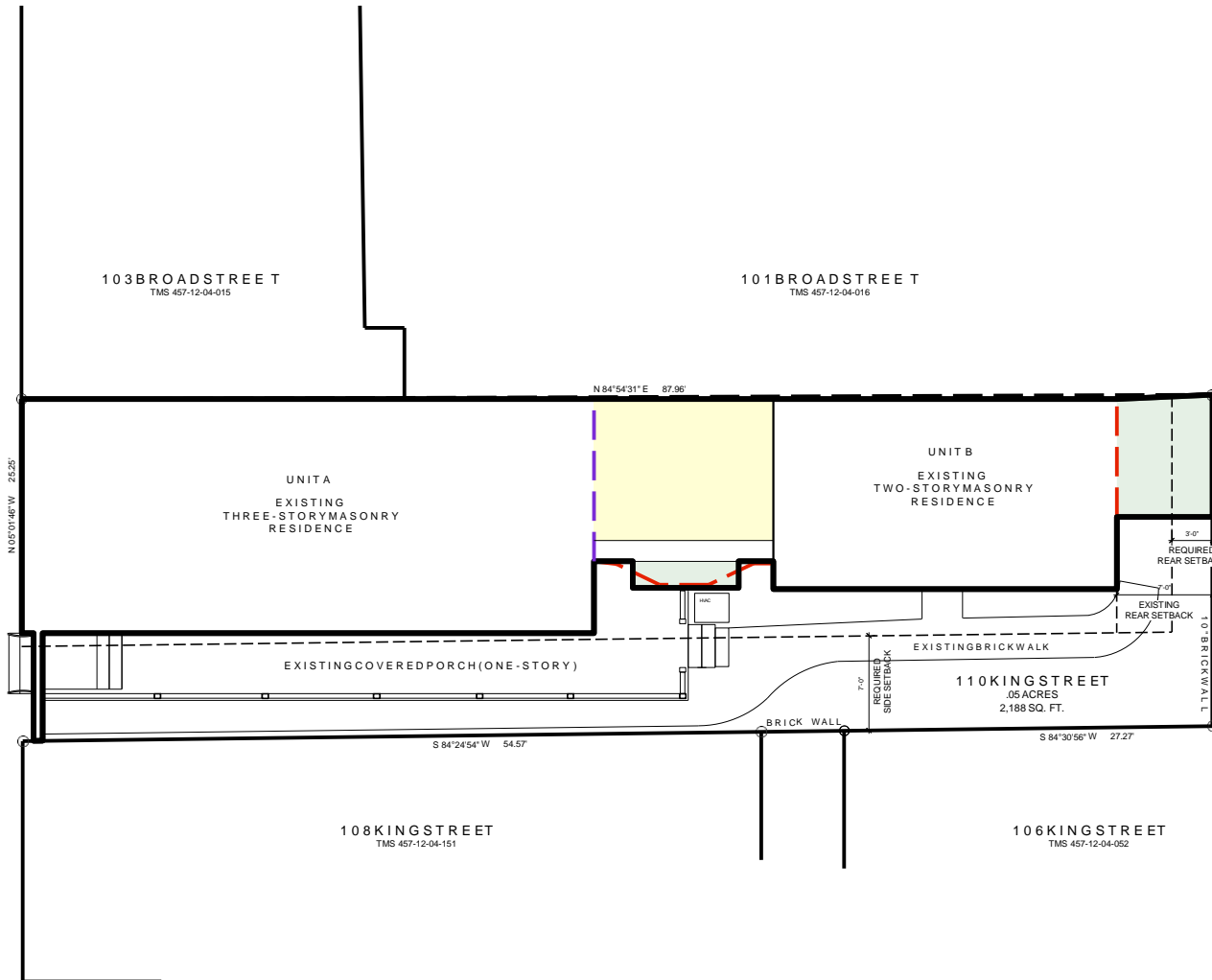
NEIGHBOR, 108 KING ST., HYPHEN



B. E A U
C. L O W N E Y
architects

BAUER RESIDENCE
110 KING STREET C
HARLESTON, SC
EXISTING SITE PLAN
1/8" = 1' - 0"
01. 16. 18

KING STREET



17 LEGARE STREET	
PROPERTY INFO:	
TMS#	457-12-04-053
LOT SIZE	2.188 AC. (11,005 SQ. FT.)
FLOOD ZONE	AE 13X
ZONING	DR-5
SETBACKS:	
FRONT:	NOT REQUIRED
REAR:	REQUIRED: 3'
	EXISTING: 7'-0"
	PROPOSED: 0'
SIDE:	SW SIDE: REQUIRED: 7'
	NE SIDE: REQUIRED: 3'
	EXISTING: 0'
LOT COVERAGE:	
(INCLUDES BUILDING FOOTPRINT AND PORCHES, STAIRS, DECKS AT 3' OR GREATER ABOVE GRADE)	
MAX ALLOWED:	35%
EXISTING:	1,264 SQ. FT. (58%)
PROPOSED:	1,329 SQ. FT. (60%)

LEGEND	
	AREA OF ONE-STORY ADDITION
	AREA OF SECOND-STORY ADDITION
	OUTLINE OF EXISTING STRUCTURE FIRST STORY
	OUTLINE OF EXISTING STRUCTURE SECOND STORY

REQUESTS - APPROVED BY BZA 12.15.17	
SE	ENLARGING EXISTING NONCONFORMING RESIDENTIAL UNIT
SE	FOOTPRINT CHANGE: HORIZONTAL AND VERTICAL
V	LOT COVERAGE VARIANCE TO INCREASE COVERAGE FROM 58% TO 60%
V	VARIANCE TO REAR SETBACK TO ALLOW 0' SETBACK TO DECREASE FROM 7'-0" TO 0'-0"

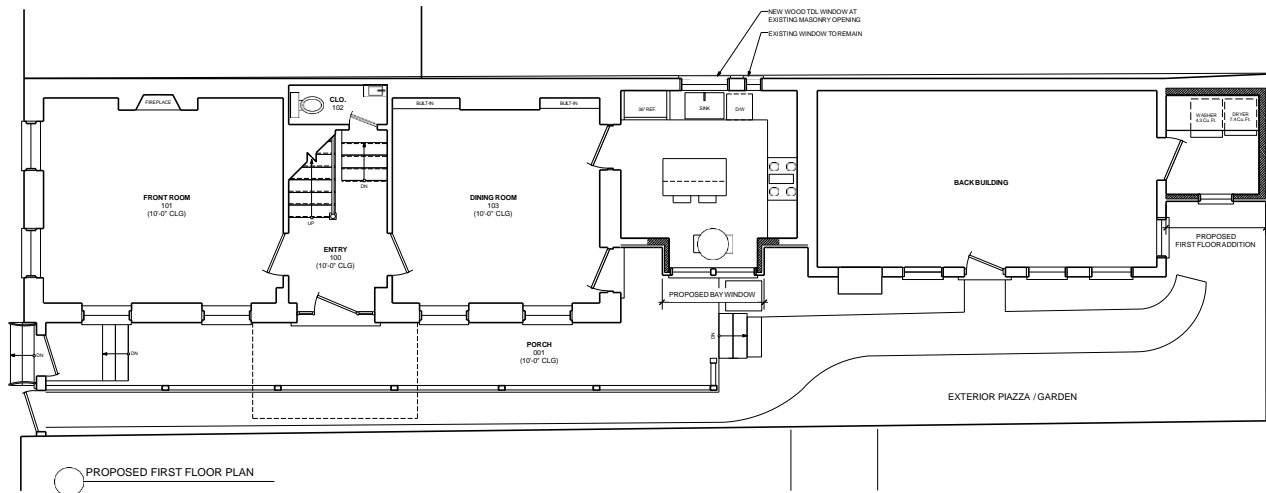
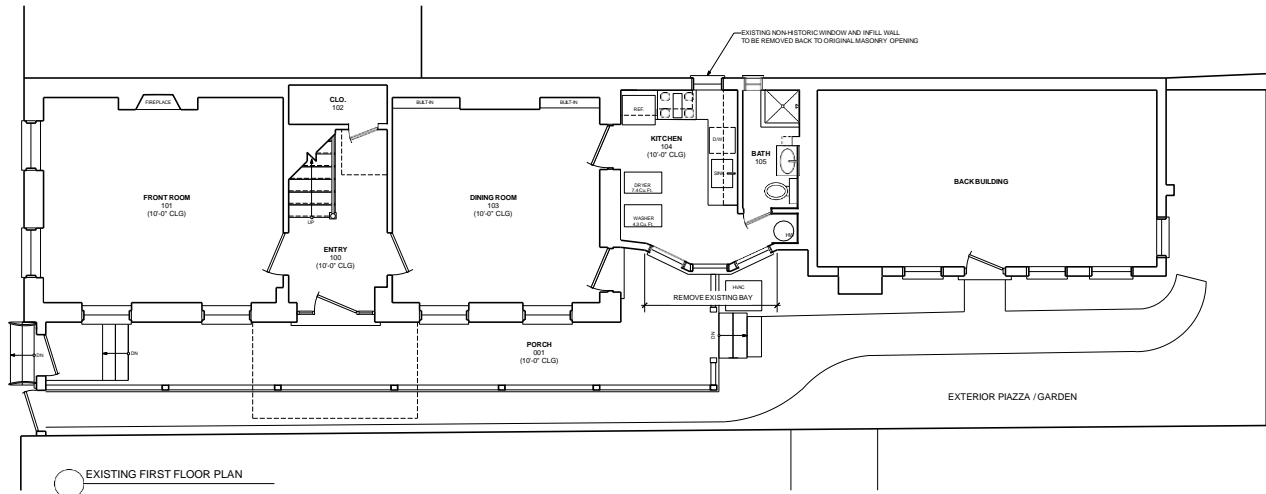


SITE INFORMATION, INCLUDING SITE BOUNDARIES, JURISDICTIONAL LINES, FLOOD ZONES, LOCATIONS OF NEIGHBORING HOUSES, ETC. BASED ON A SURVEY PROVIDED BY HAROLD B. NELSON DATED JUNE 1ST, 2017.

B E A U
C L O W N E Y
architects

843.722.2040

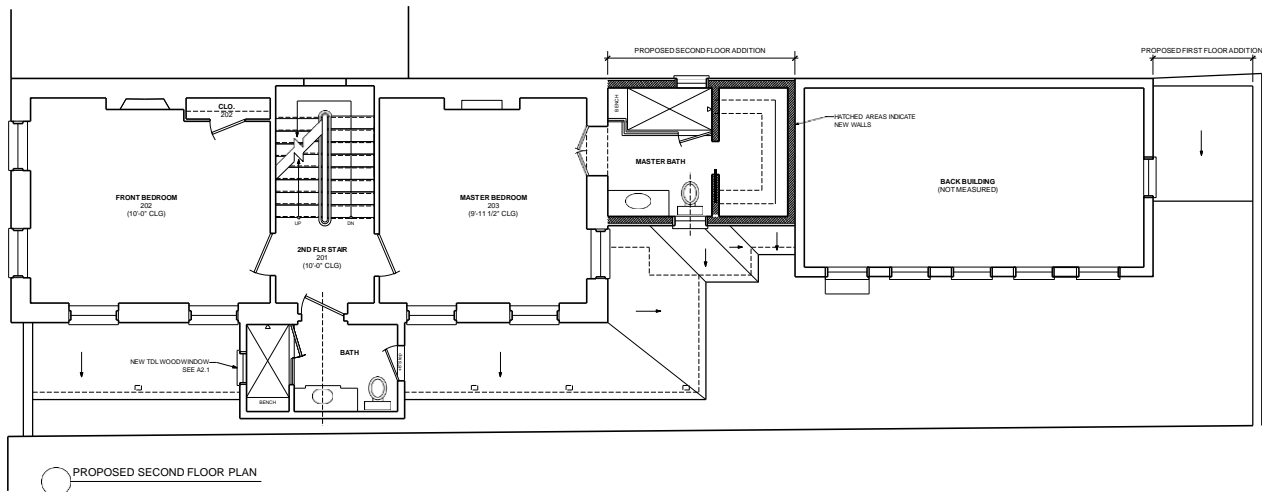
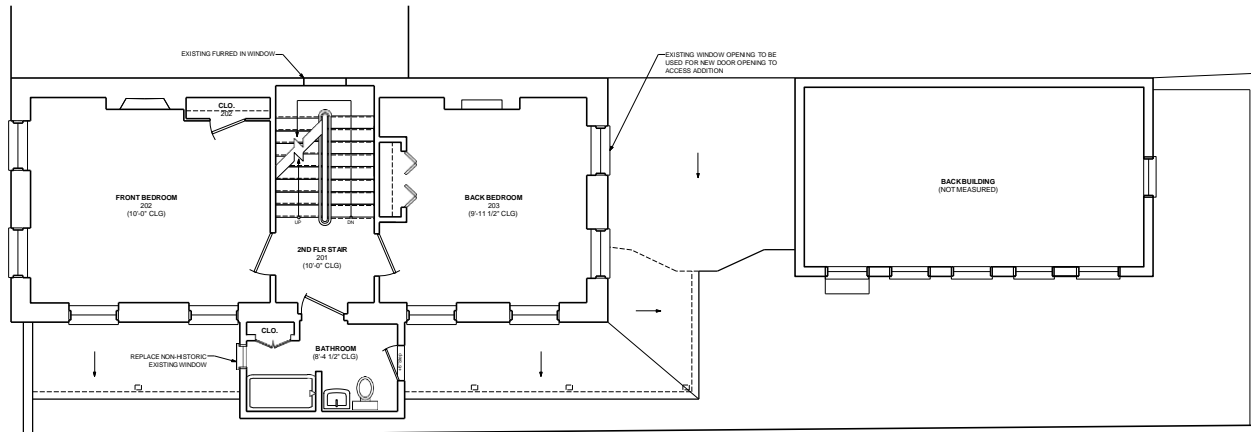
BAUER RESIDENCE
110 KING STREET
CHARLESTON, SC
PROPOSED SITE PLAN
1/8" = 1'-0"
01.16.18



BEAU
 CLOWNEY
 architects

843.722.2040

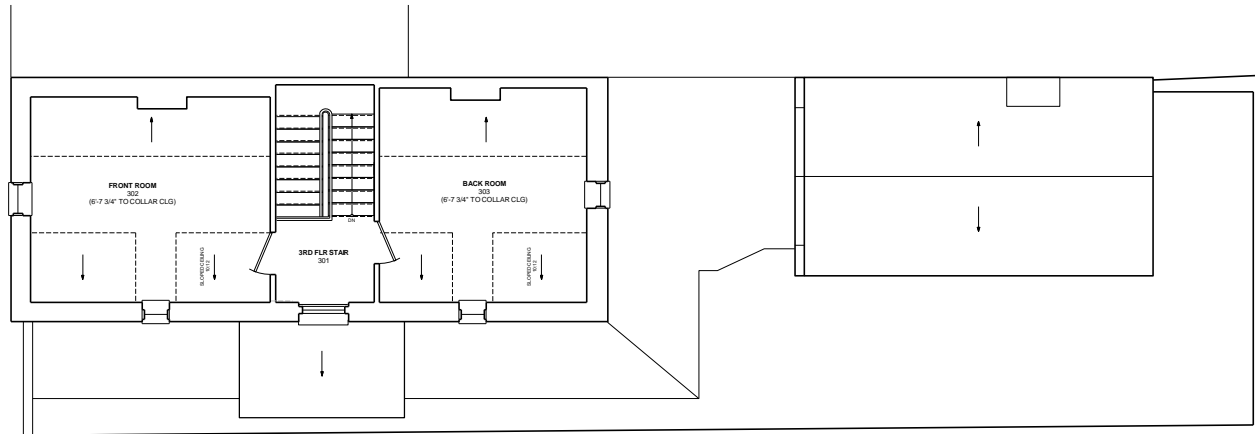
BAUER RESIDENCE
 110 KINGSTREE CT
 HARLESTON, SC
 1/8" = 1'-0"
 01.18.18



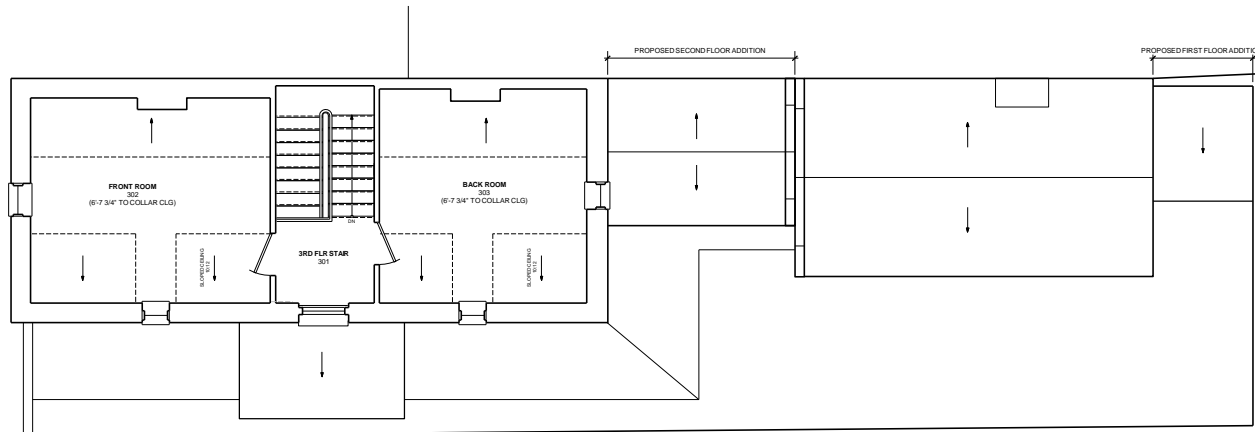
B E A U
C L O W N E Y
a r c h i t e c t s

843.722.2040

BAUER RESIDENCE
110 KING STREET C
HARLESTON, SC
SECOND FLOOR PLAN 1
1/8" = 1'-0"
01.16.19



EXISTING THIRD FLOOR PLAN



PROPOSED THIRD FLOOR PLAN



B. E. A. U.
 C. L. O. W. N. E. Y
 architects

843.722.2040

BAUER RESIDENCE
 110 KING STREET TO
 HARLESTON, SC
 THIRD FLOOR PLAN 1
 /8" = 1'-0"
 01.16.19



B. E. A. U.
C. L. O. W. N. E. Y
architects

843.722.2040

BAUER RESIDENCE
110 KING STREET TC
HARLESTON, SCWE
SITE ELEVATION
1/18 = 1" = 12'
01.16.18

A2.1

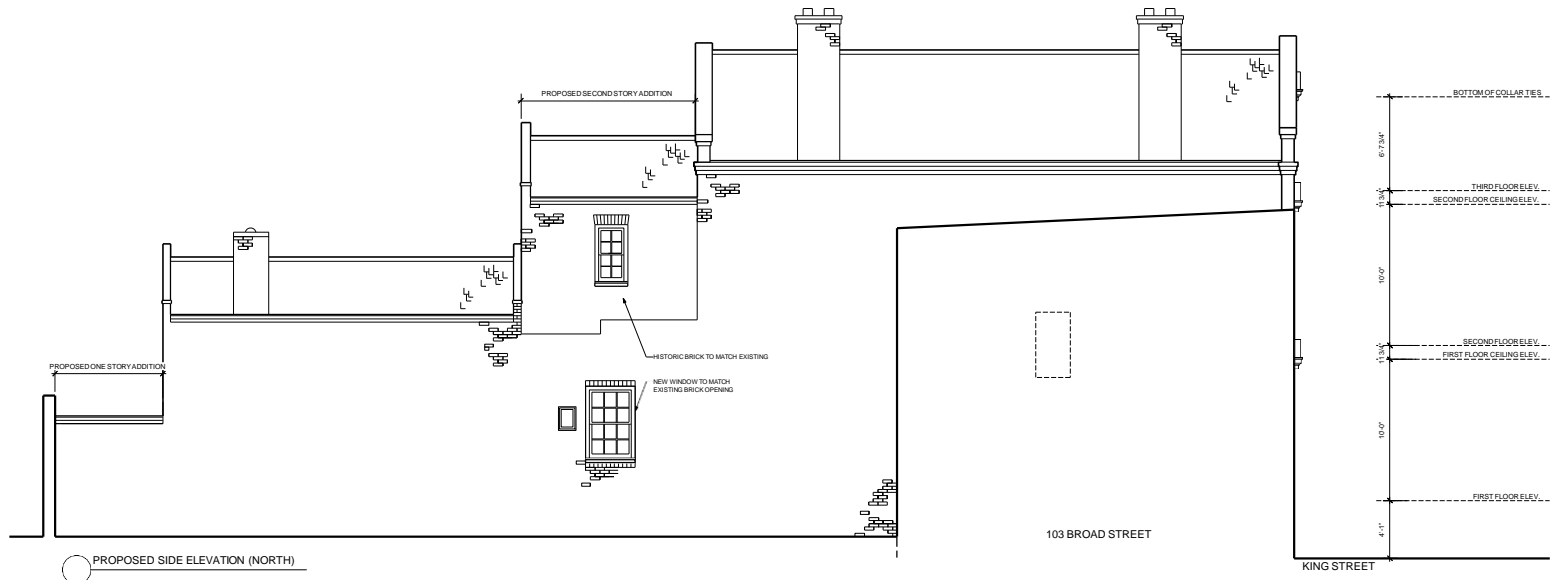
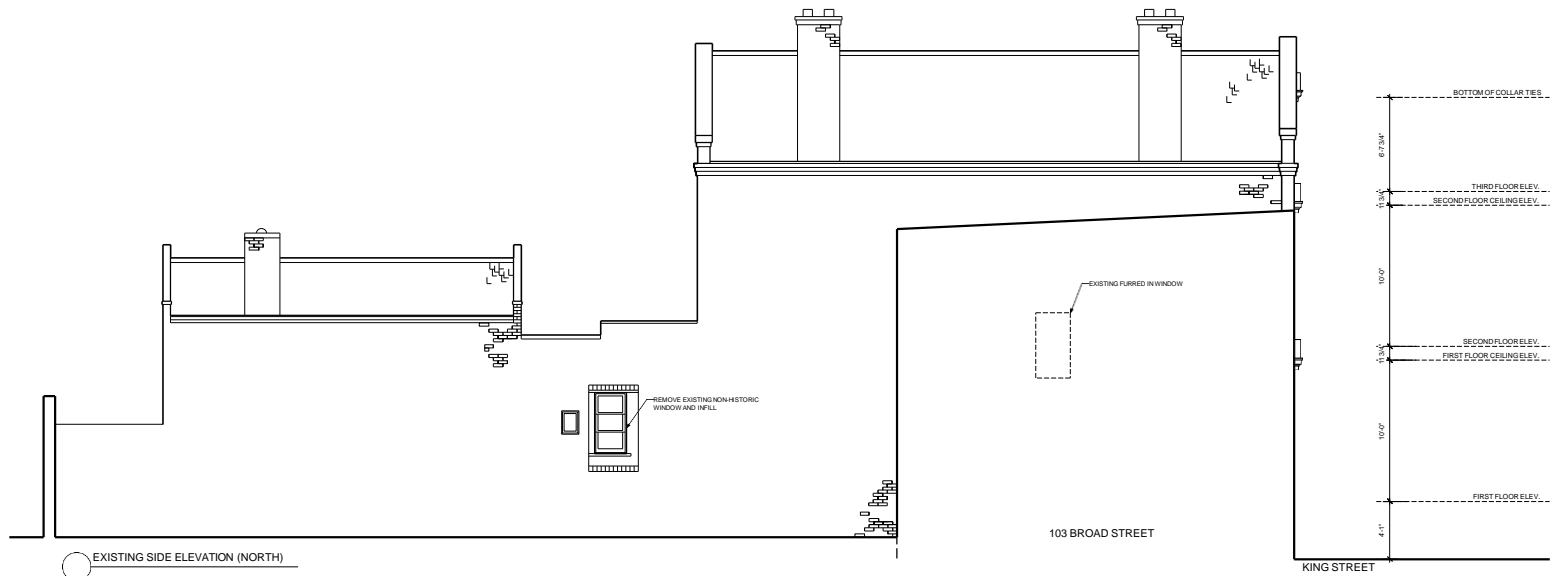


B. E. A. U.
 C. L. O. W. N. E. Y
 architects

843.722.2040

BAUER RESIDENCE
 110 KING STREET C
 HARLESTON, SC
 SOUTH ELEVATION
 1/8" = 1'-0"
 01.16.18





Agenda Item 11:

78 Murray Boulevard – TMS# 457-11-01-002

**Request conceptual approval to elevate existing residence and
modify front patios.**

Not Rated / Charlestowne / c.1928-1944 / Old and Historic District



1 SOUTH MURRAY BLVD ELEVATION
P-1 NOT TO SCALE



2 EAST ELEVATION (FROM MURRAY BLVD)
P-1 NOT TO SCALE



3 WEST ELEVATION
P-1 NOT TO SCALE



1 NORTH ELEVATION
P-2 NOT TO SCALE



2 NORTH OBLIQUE
P-2 NOT TO SCALE



1 MURRAY BLVD CONTEXT
P-3 NOT TO SCALE



2 MURRAY BLVD CONTEXT
P-3 NOT TO SCALE



3 MURRAY BLVD CONTEXT
P-3 NOT TO SCALE



N 51° 51' 10" W

**NO CHANGES TO
EXISTING SHED**

638° 09' 07" W

135.5'

82 MURRAY BLVD
457-11-01-003

13.0

78 MURRAY BLVD
457-11-01-002

BREAKFAST

FAMIL
BOOK

80.0

S 38° 09' 07" W

135.5'

N 51° 51' 10" W

76 MURRAY BLVD
457-11-01-001

12 Vanderhorst Street
Charleston, SC 29403
(843) 722-4100
www.clemmkeuesarchitects.com

A REHABILITATION OF

78 MURRAY BOULEVARD

CHARLESTON SC

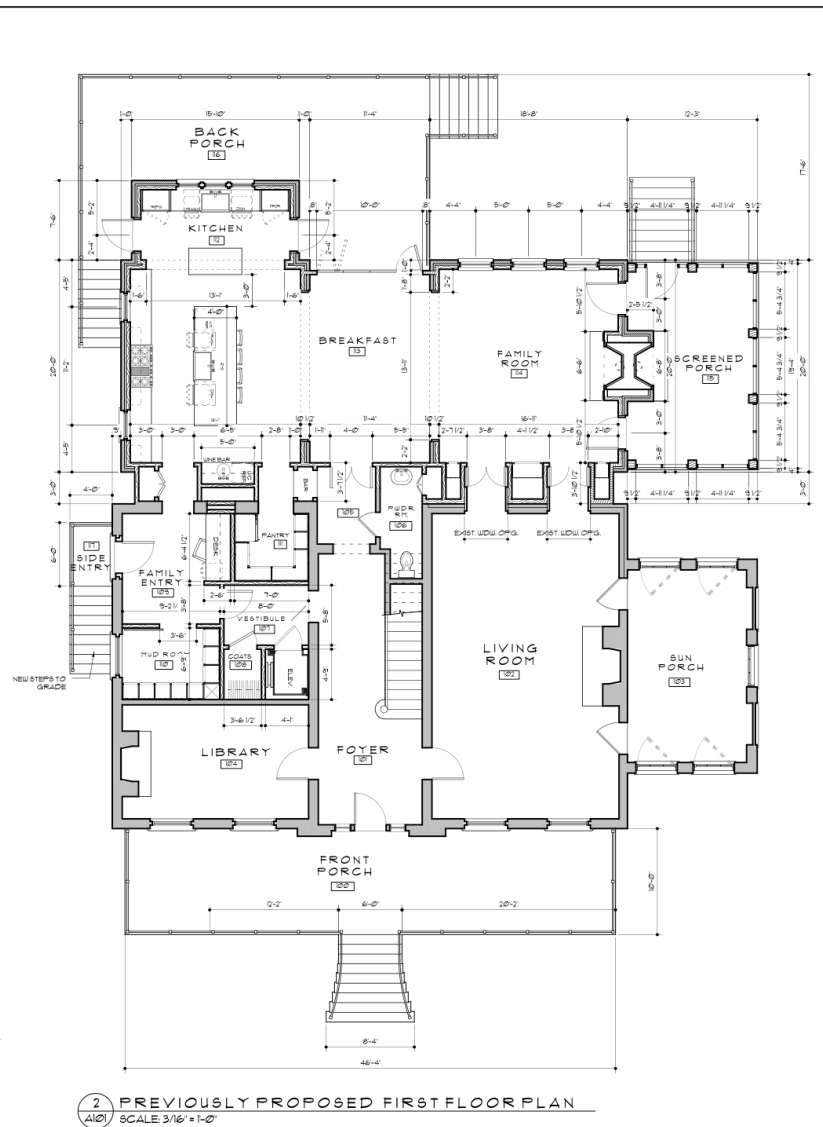
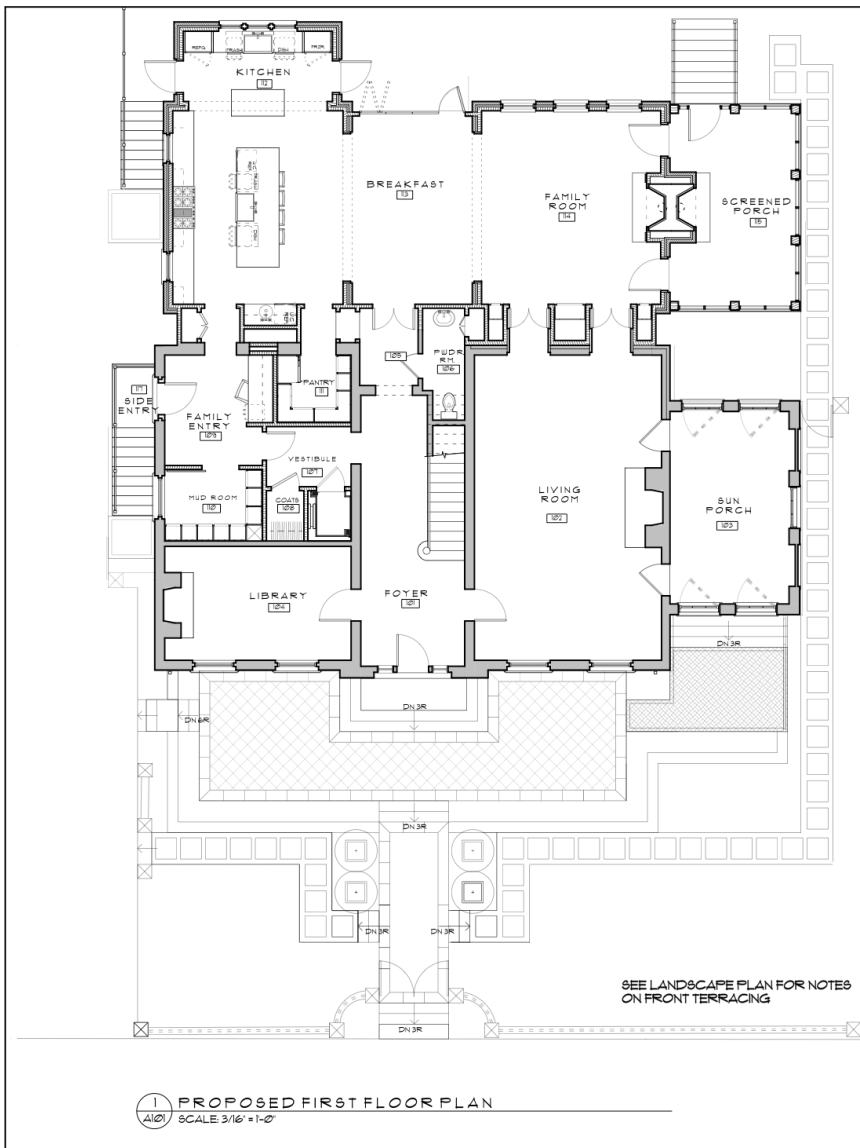
PROPOSED SITE PLAN

REV.	DATE

PROJECT NUMBER	1705
----------------	------

DRAWING DATE 1/25/18

SHEET NUMBER
A002







1 PREVIOUSLY PROPOSED NORTH ELEVATION
A203 SCALE: 3/16" = 1'-0"

NO CHANGE FROM LAST PROPOSAL



2 PROPOSED ELEVATED NORTH ELEVATION
A203 SCALE: 3/16" = 1'-0"

NOTE: HOUSE TO BE ELEVATED
THREE FEET TOTAL

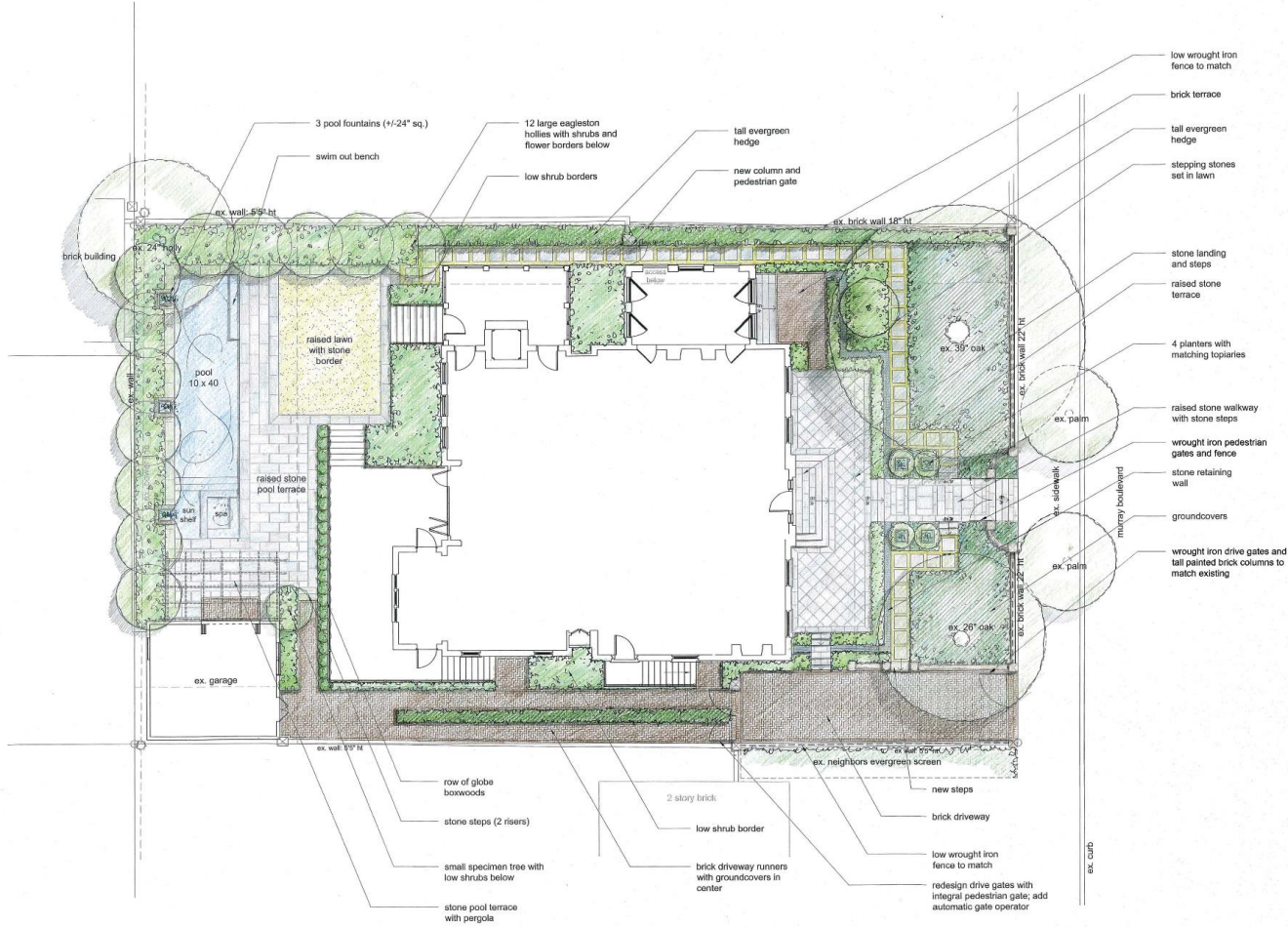


1 PREVIOUSLY PROPOSED EAST ELEVATION
A204 SCALE 3/16" = 1'-0"



2 PROPOSED EAST ELEVATION
A204 SCALE 3/16" = 1'-0"

NOTE: HOUSE TO BE ELEVATED
THREE FEET TOTAL





Front Entry: West Elevation

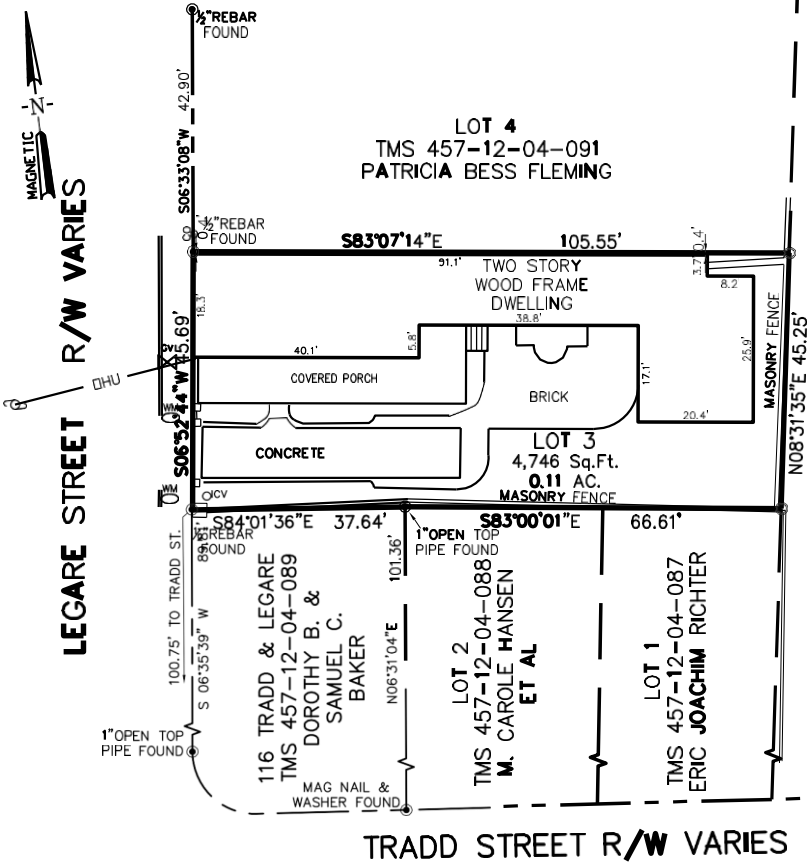
Scale 1/2" = 1'-0"

Agenda Item 12:

38 Legare – TMS# 457-12-04-108

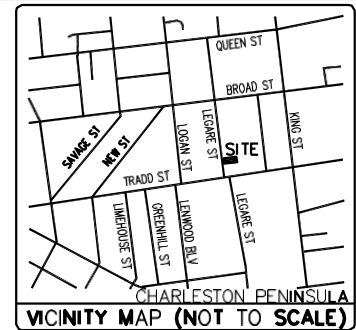
Request conceptual approval to modify fenestration.

Category 3 / Charlestowne / pre-1888 / Old and Historic District



NOTES & REFERENCES:

1. REFERENCE PLAT BY JOSEPH NEEDLE RECORDED IN THE CHARLESTON CO. R.M.C. OFFICE IN PLAT BOOK G AT PAGE 27.
2. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH AND IS BASED ENTIRELY ON THE ABOVE REFERENCED DOCUMENT(S). ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCE PLAT MAY NOT BE SHOWN ON THIS SURVEY.
3. CERTIFICATION IS TO THE PARTY/PARTIES FOR WHOM THIS SURVEY WAS PREPARED AND IS NOT TRANSFERABLE TO ANY OTHER INSTITUTIONS OR INDIVIDUALS.



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD RIGHT-OF-WAY LINE
- PROPERTY CORNER FOUND
- PROP. CONR. SET (3/8" REBAR & CAP)
- GAS VALVE
- IRRIGATION CONTROL VALVE
- SEWER SERVICE CLEANOUT
- UTILITY POLE
- WATER METER
- OVERHEAD UTILITY

GENERAL PROPERTY SURVEY

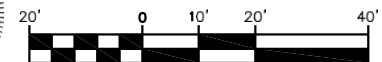
LOT 3
TMS 457-12-04-090
38 LEGARE STREET
CITY OF CHARLESTON
CHARLESTON COUNTY, SC

BEING CONVEYED TO
CHRISTOPHER DESINO

DATE: JANUARY 9, 2018 **SCALE: 1" = 20'**
ATLANTIC SURVEYING, INC.

1058 GARDNER ROAD
P.O. BOX 30604
CHARLESTON, SOUTH CAROLINA 29417
PHONE (843) 763-6669 FAX (843) 766-7411

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

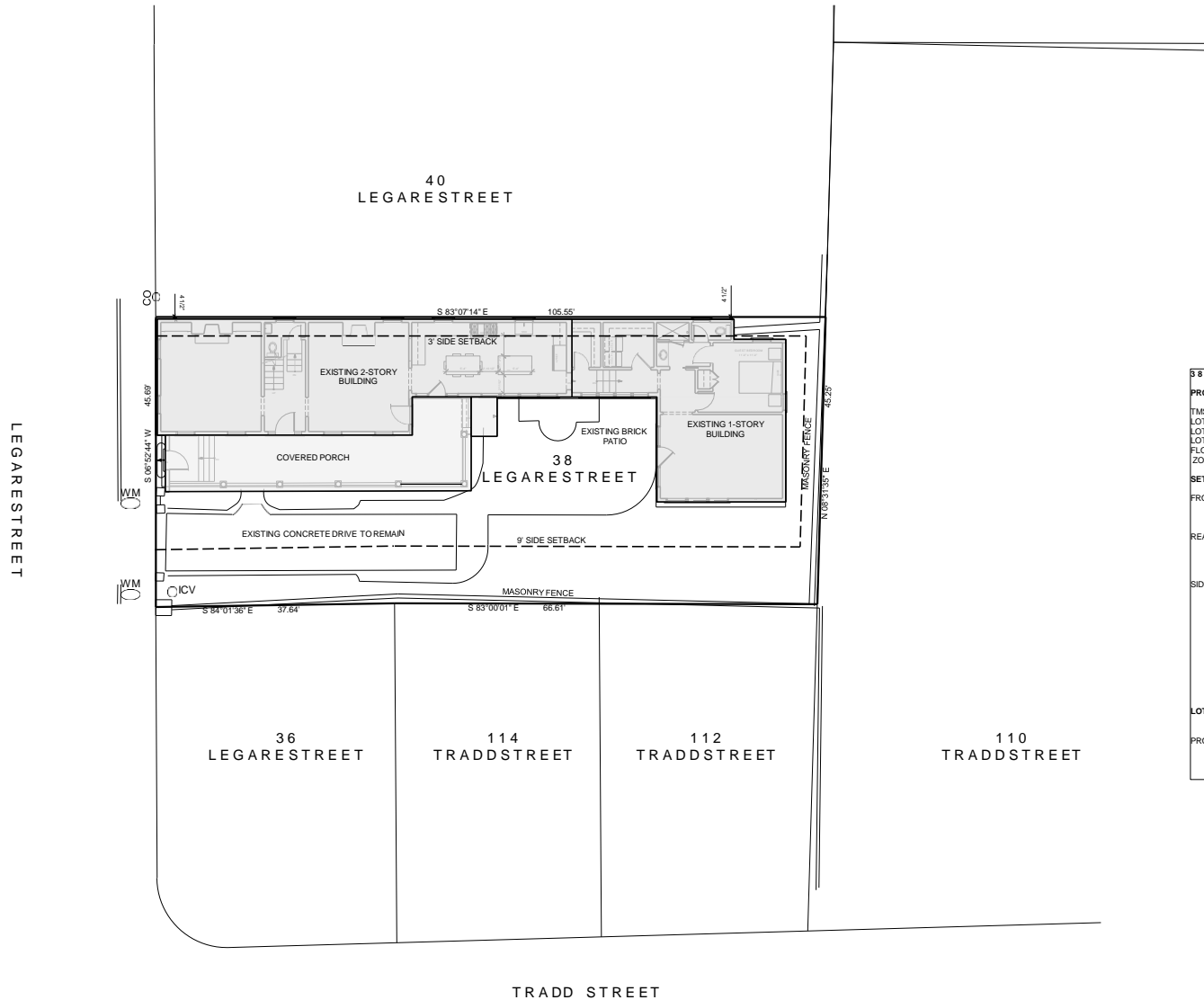
JOB #17-19417



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

JAMES KELLY DAVIS, R.L.S. No. 9758



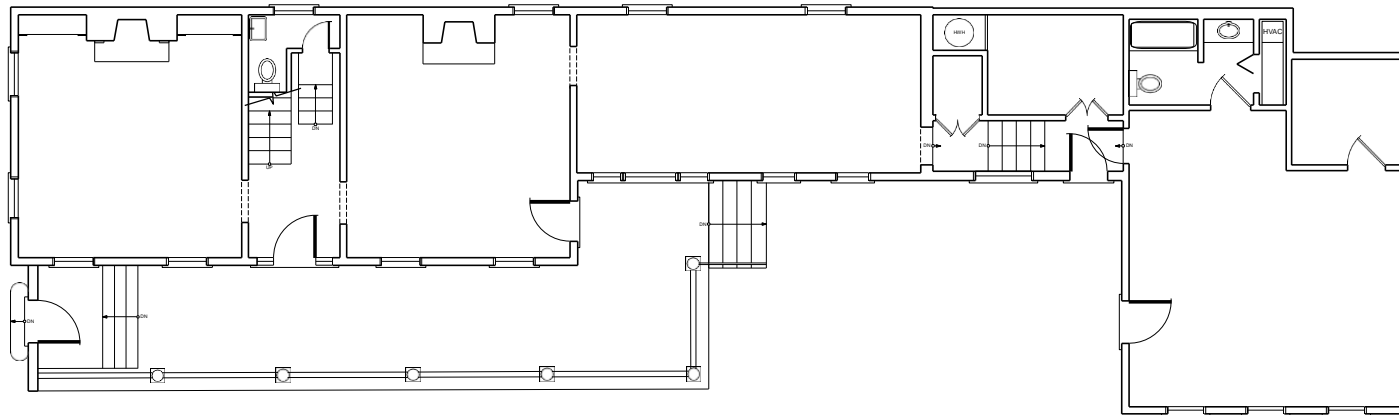


38 LEGARESTREET	
PROPERTY INFO:	
TMS#	457-12-04-090
LOT SIZE:	4,746 sq. ft. : 0.11 acres
LOT WIDTH:	45.5'
LOT DEPTH:	105.0'
FLOOD ZONE:	AE 13
ZONING:	SR-4 (SINGLE FAMILY RESIDENTIAL DISTRICT)
SETBACKS:	
FRONT:	REQUIRED: 0'-0" EXISTING: 0'-0" PROPOSED: 0'-0"
REAR:	REQUIRED: 3'-0" EXISTING: 4'-3" PROPOSED: 4'-3"
SIDE:	S SIDE: REQUIRED: 9'-0" EXISTING: 15'-7" PROPOSED: 15'-7" N SIDE: REQUIRED: 3'-0" EXISTING: 0'-0" PROPOSED: 0'-0"
LOT COVERAGE:	(INCLUDES BUILDING FOOTPRINT, PORCHES, STAIRS, DECKS AT 3' OR GREATER ABOVE GRADE)
PROPOSED:	REQUIRED: 1,661 SF (35%) EXISTING: 2,303 SF (48.5%) PROPOSED: 2,303 SF (48.5%)

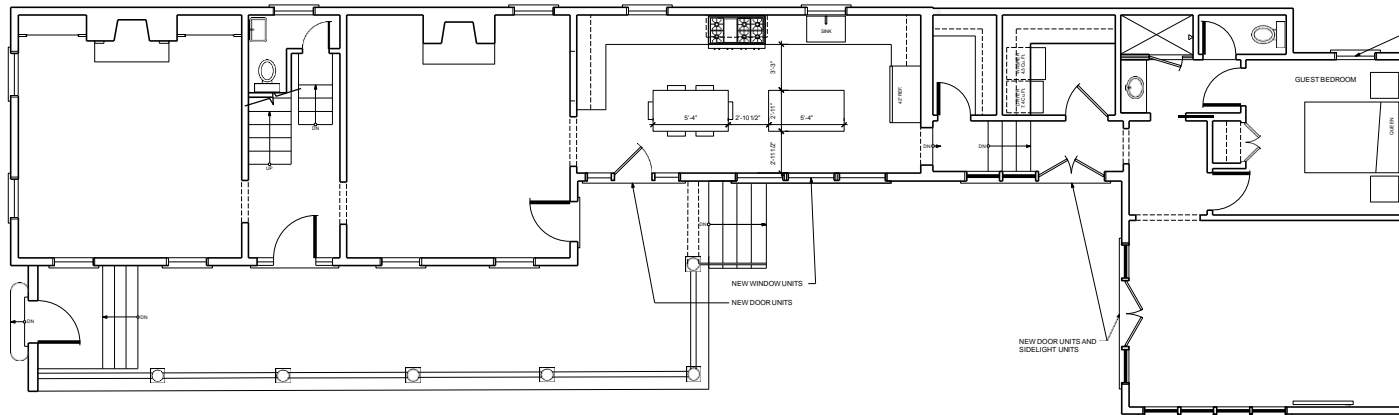


SITE INFORMATION, INCLUDING SITE
BOUNDARIES, JURISDICTIONAL LINES,
FLOOD ZONES, LOCATIONS OF
NEIGHBORING HOUSES, ETC. BASED ON A
SURVEY PROVIDED BY ATLANTIC
SURVEYING, INC. DATED 01/08/18.

B E A U
C L O W N E Y
architects
843.722.2040
OSBORNE-DESIGN/RESIDENCE
38 LEGARESTREET
CHARLESTON, SC
SITE PLAN
1/16" = 1' - 0"
01.25.18



EXISTING MAIN HOUSE FIRST FLOOR PLAN



PROPOSED MAIN HOUSE FIRST FLOOR PLAN

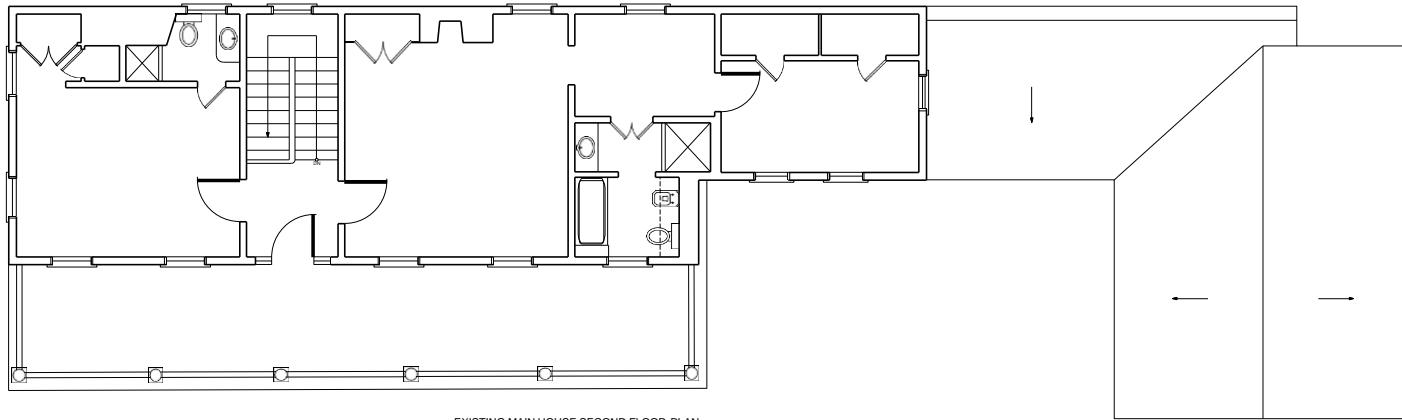
NOTE: DIMENSIONS SHOWN ARE FROM
FACE OF STUD UNLESS NOTED
OTHERWISE

B E A U
C L O W N E Y
a r c h i t e c t s

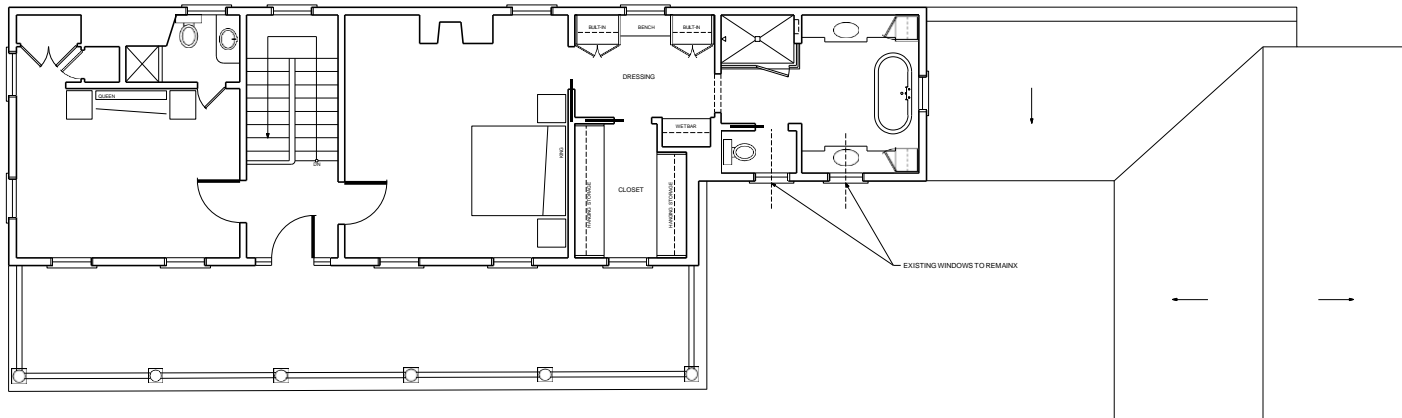
843.722.2040

OSBORNE-DESINO RESIDENCE
38 E GARRETT STREET
CHARLESTON, SC
1/8" = 1' - 0"
01.29.18

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written consent of the architect is permitted.



EXISTING MAIN HOUSE SECOND FLOOR PLAN



PROPOSED MAIN HOUSE SECOND FLOOR PLAN

B. E. A. U
C. L O W N E Y
architects
843.722.2040
OSBORNE-DESIGN RESIDENCE
38 LEGARE STREET
CHARLESTON, SC
SECOND FLOOR PLANS 1
1/8" = 1' - 0"
01.29.18



FRONT ELEVATION - EXISTING



FRONT ELEVATION - PROPOSED

B. E. A. U
 C. L. O. W. N. E. Y
architects
 843.722.2040
 OSBORNE-DESIGN RESIDENCE
 314 E. BAY STREET
 CHARLESTON, SC
 EXTERIOR ELEVATION
 1/8" = 1'-0"
 01.29.19



GARDEN ELEVATION - EXISTING



GARDEN ELEVATION - PROPOSED



GARDEN SUITE ELEVATION - EXISTING

REMOVE NON-HISTORIC DOOR



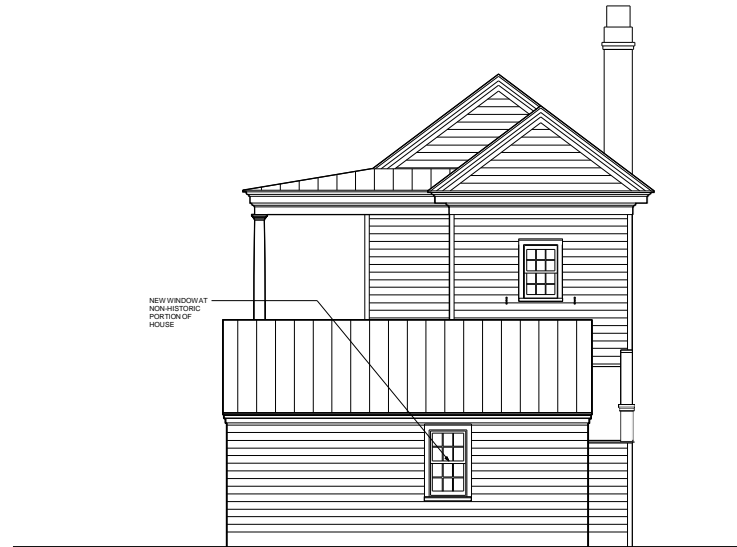
GARDEN SUITE ELEVATION - PROPOSED

NEW DOOR AND
SIDELIGHT UNITS



REAR ELEVATION - EXISTING

NEW WINDOW AT
NON-HISTORIC
PORTION OF
HOUSE



REAR ELEVATION - PROPOSED



NORTH ELEVATION - EXISTING



NEW WINDOW AT
 NON-HISTORIC
 PORTION OF
 HOUSE

NORTH ELEVATION - PROPOSED

B. E. A. U
 C. L. O. W. N. E. Y
 architects

843.722.2040

OSBORNE-DESIRO RESIDENCE
 314 E. GARE STREET
 CHARLESTON, SC
 EXTERIOR ELEVATION
 1/8" = 1'-0"
 01.29.19



38 LEGARE STREET



38 LEGARE PORCH ELEVATION



MAIN HOUSE NORTH ELEVATION



GARDEN SUITE NORTH ELEVATION



MAIN HOUSE REAR ELEVATION



GARDEN ELEVATION



CONNECTOR GARDEN ELEVATION



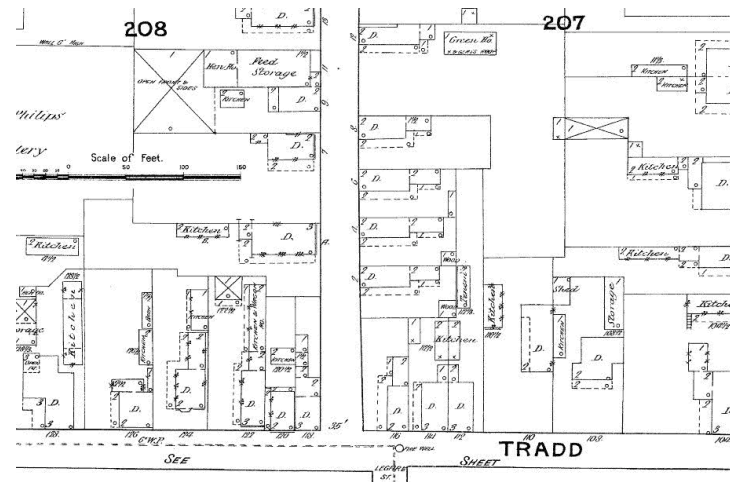
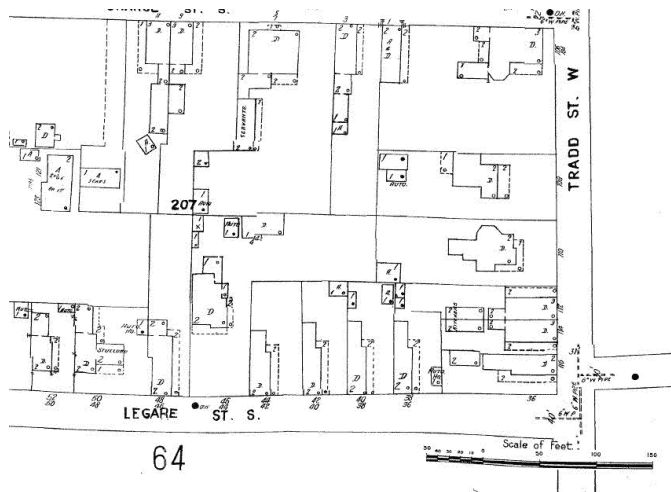
MAIN HOUSE GARDEN ELEVATION



GARDEN SUITE FRONT ELEVATION



GARDEN SUITE GARDEN ELEVATION



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1902 SANBORN MAP - FEB. 1951 UPDATE

1888 SANBORN MAP



NON-CONFORMING WINDOW AT KITCHEN



MODIFIED WINDOWS AT EXISTING SEWING ROOM

B E A U
C L O W N E Y
architects
843.722.2040
OSBORNE-DESINORESIDENCE
39LEGARESTREET
CHARLESTON, SC
EXISTINGCONDITIONSPHOTOS
N.T.S.
01.29.18

Agenda Item 13:

43 Legare Street – TMS#457-12-04-108

Request final approval to modify hardscaping and replace driveway gate.

Category 2 / Charlestowne / c.1759;1911 / Old and Historic District

The Hanahan Residence

garden construction plans

Sheet Listing:

- 1 of 5 Cover
- 2 of 5 Proposed Garden Plan
- 3 of 5 Layout Plan
- 4 of 5 Details A
- 5 of 5 Details B

Contractor's Certification and Agreement to Terms of Drawings
Signature of contractors below certifies full understanding of and intent to comply with all included drawings, details, notes, title and terms as issued by the office of Glen R. Grierland Landscape Architects, LLC.

Landscape and Irrigation contractor

Masonry and Hardscape contractor

Landscape Lighting contractor

Frost contractor

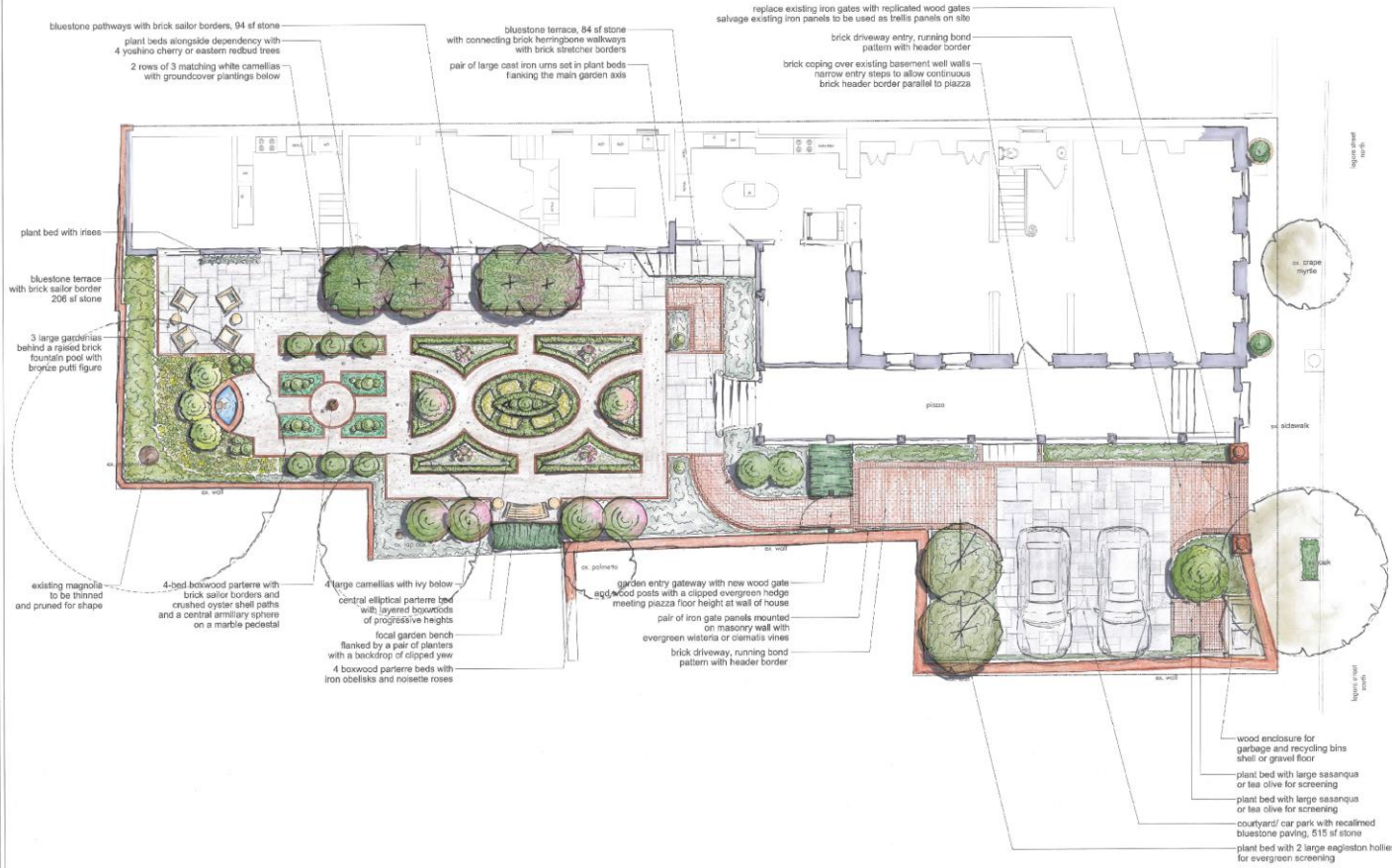
Carpentry contractor



proposed garden plan

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Hanoch Residence Garden
Daniel R. Gannon Landscape Architects, L.L.C.
431 West 10th Street, Suite 200
Chicago, IL 60607
Tel: 312.467.1000
Fax: 312.467.1001
www.drgannolandscape.com



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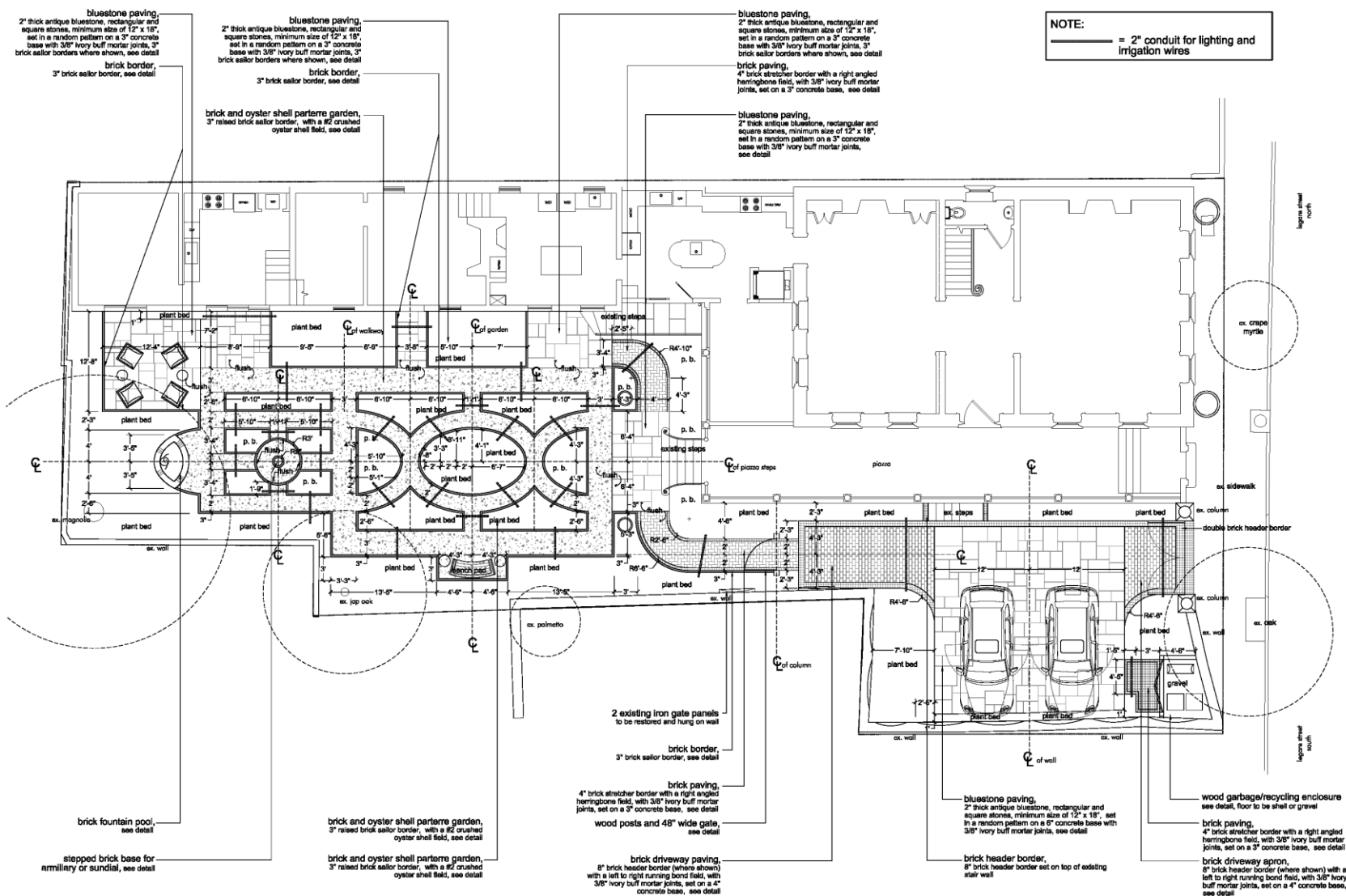
Proposed Plan
Sheet 2



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www.drgannolandscape.com



- all stone to be reclaimed bluestone
- all flatwork brick to be reclaimed or 'savannah grey' by Old Carolina, tbd
- all mortar joints to be 3/8" wide and color is: ivory buff

1. Contractor shall verify all materials shown on plan and contact Landscape Architect with any availability, product quality or other concerns. Quality of materials must meet or exceed expectations.

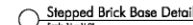
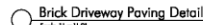
2. Contractors shall verify all dimensions and grades in the field prior to beginning construction. Widths and lengths shown on plans are adjustable to the whole or half brick, with express attention paid to center lines and other alignments on site. Verify any concerns with the Landscape Architect.

3. Generally all mortar joints are to be held to even 3/8" with ivory buff mortar unless otherwise noted. When abutting an existing mortar of another color or shade contact Landscape Architect to verify selections. Note that brick and stone sizes will vary and uniformity of joints must be planned during layout of the paved area to allow for straight and aligned joints over multiple courses or fields. Unless otherwise noted all exposed joints shall be raked.

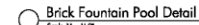
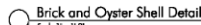
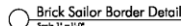
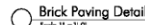
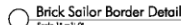
4. See Layout Plan and Details for callouts of specific materials. Should a discrepancy arise contact Landscape Architect for clarification of the plans.

5. Contractors shall take great care to mix materials from pallet to pallet for even distribution. All materials orders shall be placed for the entire job in one order to avoid variation of factory runs or quarry inconsistency.

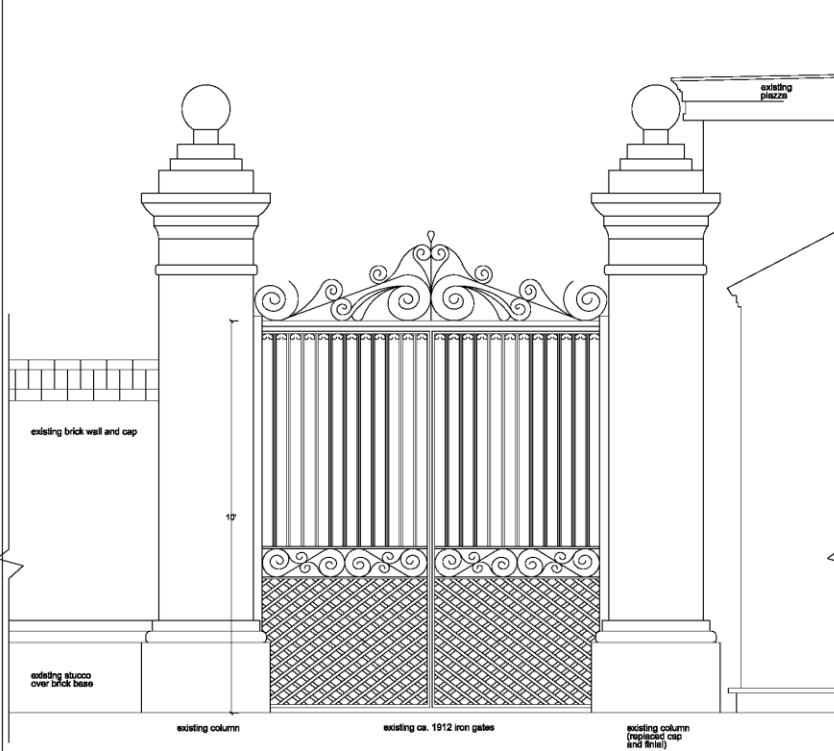
6. Any and all necessary grading and drainage materials such as pipes and drain boxes as well as 4' conduits below all hardscape surfaces shall be included in the hardscape contractor's bid and installation scope. Final grades and drainage needs are to be reviewed on site after rough grading is completed and water must drain away from structures and must not adversely affect neighboring properties. Refer to separate grading or civil plans when available. Hardscape contractors are expected to provide a finished grade within 1.5' of final grade with all large debris, rocks and roots removed from the soil, ready for the landscape contractor to begin work. As-Builts showing conduits and any site adjustments must be provided for final payment.



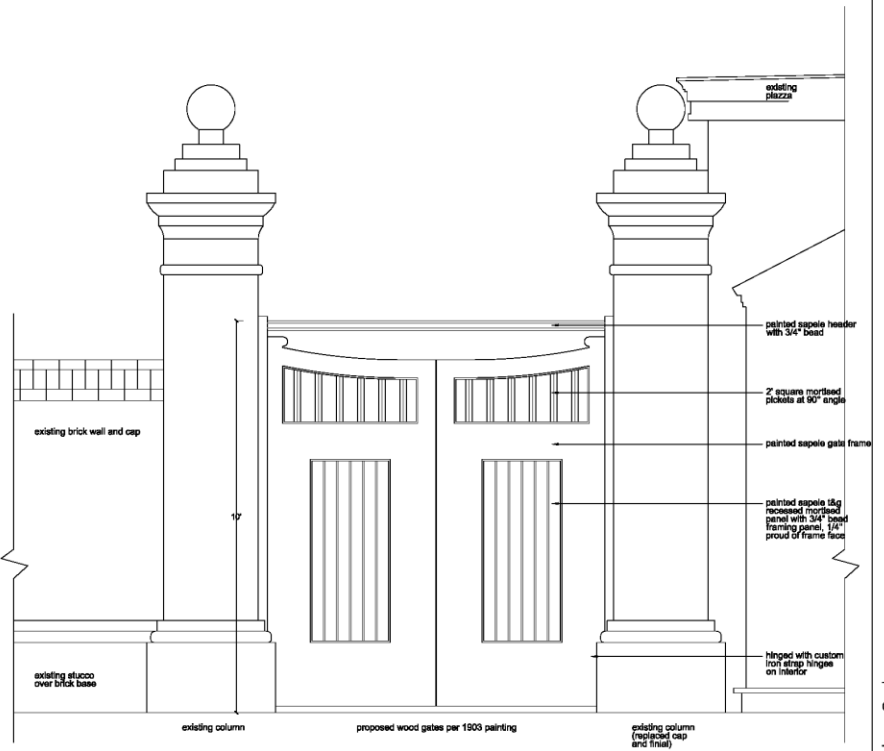
*allow for lighting, pump and water supply lines with 3 sweeps of conduit to plant bed, located below coping brick



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Existing Entry Gate Detail
Scale 1" = 1'-0"



Proposed Entry Gate Detail
Scale 1" = 1'-0"



Site Photo Sheet

Project: Hanahan Residence, 43 Legare Street

Date: January 16, 2018



Looking west across Legare at 43 Legare entry



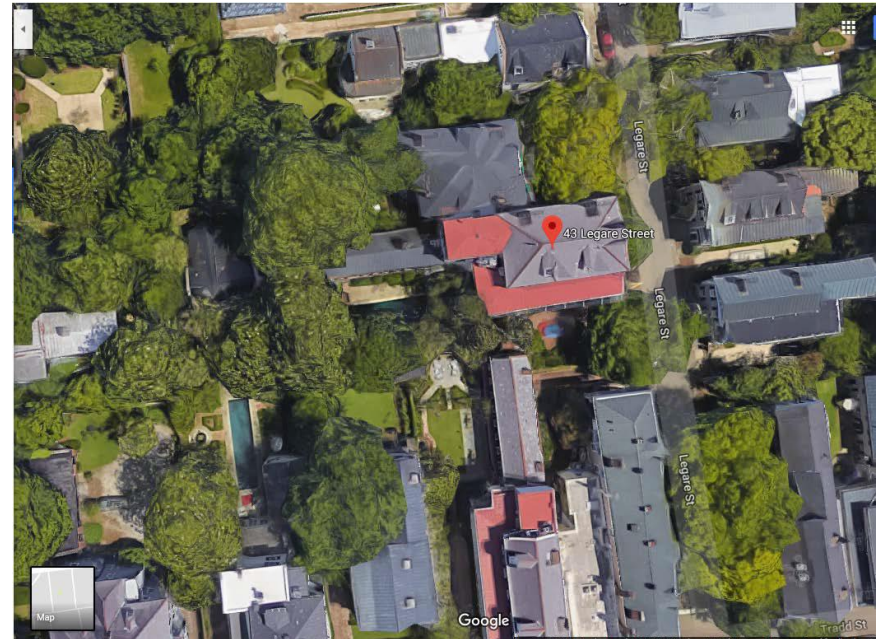
Looking south on sidewalk at 43 Legare



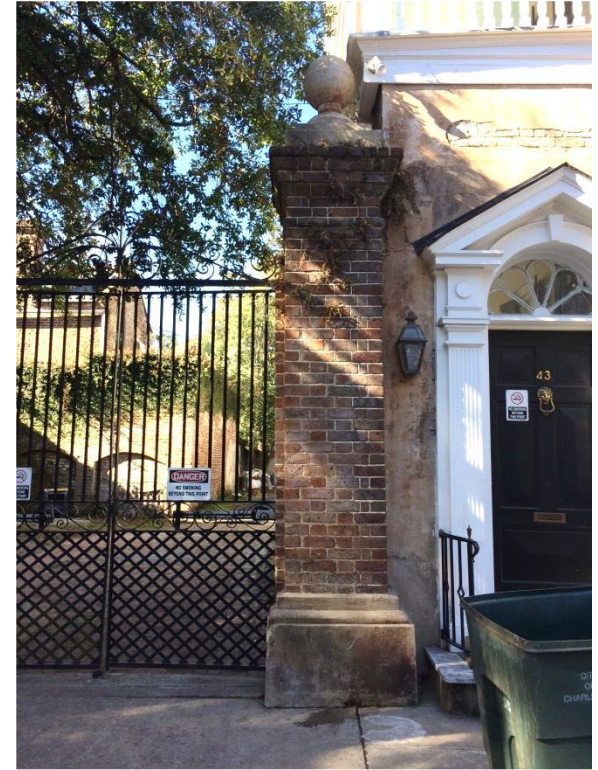
Looking north on sidewalk with 43 Legare entry on left



Looking westward into the site from driveway entry (stone and bricks to be salvaged for re-use)



Looking south/westward into the site (parking area on plan) from driveway entry (stone and bricks to be salvaged for re-use, brick walls and arches remain as is)



Additional photos of existing wall, piers and ca 1912 iron gate
(iron gate to be restored and used on site as wall-mounted panels)



Brownstone blocks in piers from previous hinging of wood gates



THE VERNER GALLERY

Artist: Elizabeth Quale O'Neill (Verner)

Title: 43 Legare Street
The Artist's home at the time.

Medium: Oil on Canvas

Size: 14 X 18 inches in a frame 22.5 by 26.5 inches.

Date: Ca: 1903 Note: This is a best guess date; after art school, before marriage.

Provenance: Passed down through the artist's family.
Frame is 22 k gold leaf made by Newcomb Macklin frame makers is period correct.

Record: O.6.23.171 Page 161

P. O. Box 3028, Warrenton, Va 20188
540 349-8950



ca. 1903 Verner painting of 43 Legare Street, enlargement
Columns remaining intact/as is on site today

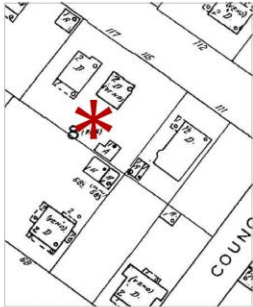
Similar examples of wood driveway gates with
monumental historic piers include the Miles Breton House
on King Street and the Aiken Rhett house on Elizabeth
Street.

Agenda Item 14:

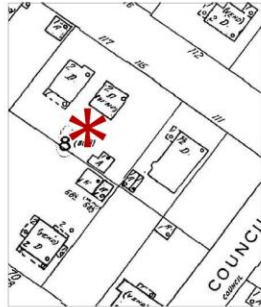
115 South Battery – TMS# 457-11-02-054

Request conceptual approval to replace existing side stoop, replace rear patio with new covered porch, add/replace shutters, and construct new garden shed.

Not Rated / Charlestowne / c.1928-1944 / Old and Historic District



1944 SANBORN MAP EXCERPT



1951 SANBORN MAP EXCERPT



1955 SANBORN MAP EXCERPT



ZONING MAP EXCERPT



CURRENT VIEW

RESIDENTIAL RENOVATION AT 115 SOUTH BATTERY CHARLESTON, SOUTH CAROLINA

TMS #: 457-11-02-054

ZONING DISTRICT: SR-2

GOVERNING CODE: IRC 2015 (EXISTING/HISTORIC STRUCTURE)

FLOOD ZONE: AE (14)

SCOPE OF WORK:

- REPLACE EXISTING NON-HISTORIC SIDE STOOP w/ NEW STOOP (LATTICE ENCLOSURE TO BE REMOVED; CANOPY TO REMAIN)
- REPLACE EXISTING RAISED PATIO WITH NEW COVERED WOOD PORCH ON MASONRY PIERS + SCREENING BEHIND COLUMNS/RAILING
- REPLACE EXISTING NON-HISTORIC SHED w/ NEW GARDEN SHED
- MISCELLANEOUS REPAIRS + REPAINTING, INCLUDING NEW OPERABLE WOOD SHUTTERS

DRAWING SCHEDULE:

- | | |
|-------|---|
| A-001 | TITLE + SANBORNS |
| A-002 | EXISTING CONDITIONS PHOTOS |
| A-003 | CONTEXT PHOTOS |
| A-004 | SHED PRECEDENTS |
| A-005 | SITE PLAN (EXISTING + PROPOSED) |
| A-101 | FIRST FLOOR PLANS (EXISTING + PROPOSED) |
| A-102 | SECOND FLOOR PLANS (EXISTING + PROPOSED) |
| A-201 | EXTERIOR ELEVATIONS (EXISTING + PROPOSED) |
| A-202 | EXTERIOR ELEVATIONS (EXISTING + PROPOSED) |
| A-203 | EXTERIOR ELEVATIONS (EXISTING + PROPOSED) |
| A-204 | PROPOSED STORAGE SHED |



AERIAL VIEW

JULIA F MARTIN ARCHITECTS

210 BATTERY AVENUE, 3RD FLOOR • CHARLESTON, SC 29403
P. 803.527.3225 • WWW.JFMARCHITECTS.COM

RESIDENTIAL RENOVATION AT
115 SOUTH BATTERY

PROJECT NO.: 2017-35
DATE: 18 JAN 2017
DRAWN BY: E.S.L./J.F.M.
CHECKED BY: J.F.M.

TITLE +
DRAWING
SCHEDULE

A-001



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



DETAIL: SIDE ENTRY



REAR STORAGE SHED (TO BE REMOVED)

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RESIDENTIAL RENOVATION AT
115 SOUTH BATTERY

PROJECT NO.: 2017-35
DATE: 18 JAN. 2017
DRAWN BY: E.S.L./J.F.M.
CHECKED BY: J.F.M.

EXISTING
CONDITIONS
PHOTOS

A-002



SOUTH BATTERY LOOKING EAST



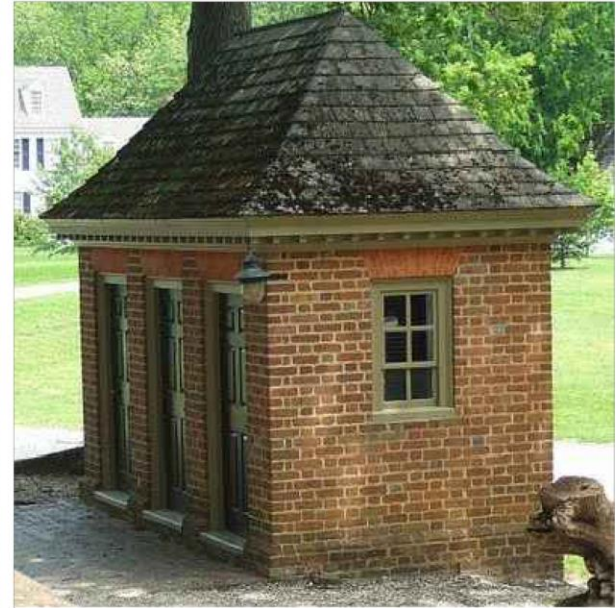
SOUTH BATTERY LOOKING WEST



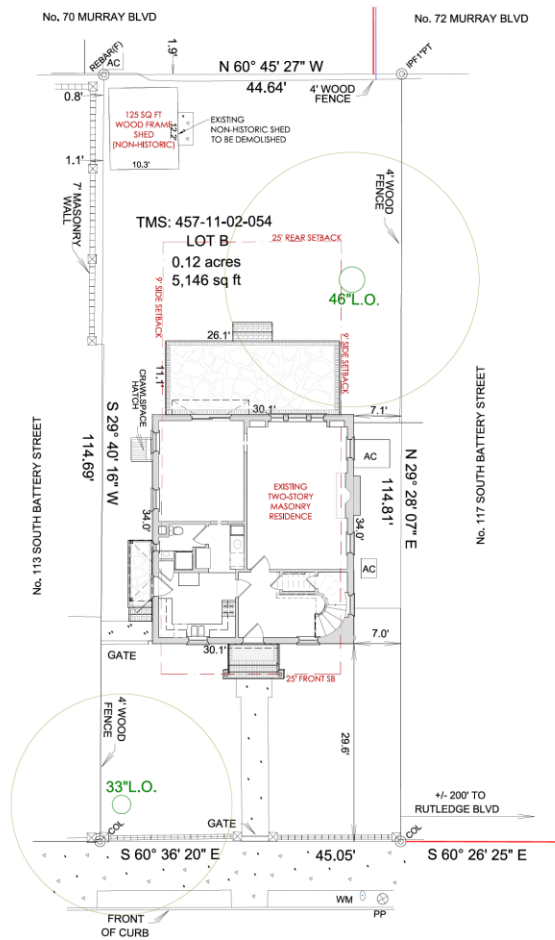
VIEW TOWARDS REAR FROM MURRAY BOULEVARD



VIEW FROM REAR YARD TOWARDS MURRAY BOULEVARD

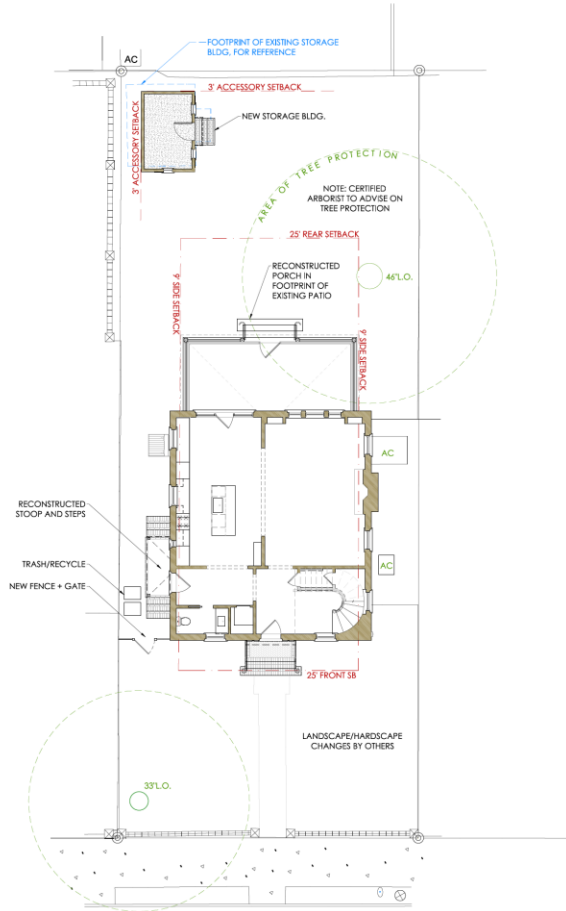


PRECEDENTS FOR PROPOSED GARDEN SHED



SOUTH BATTERY STREET (55' R/W)

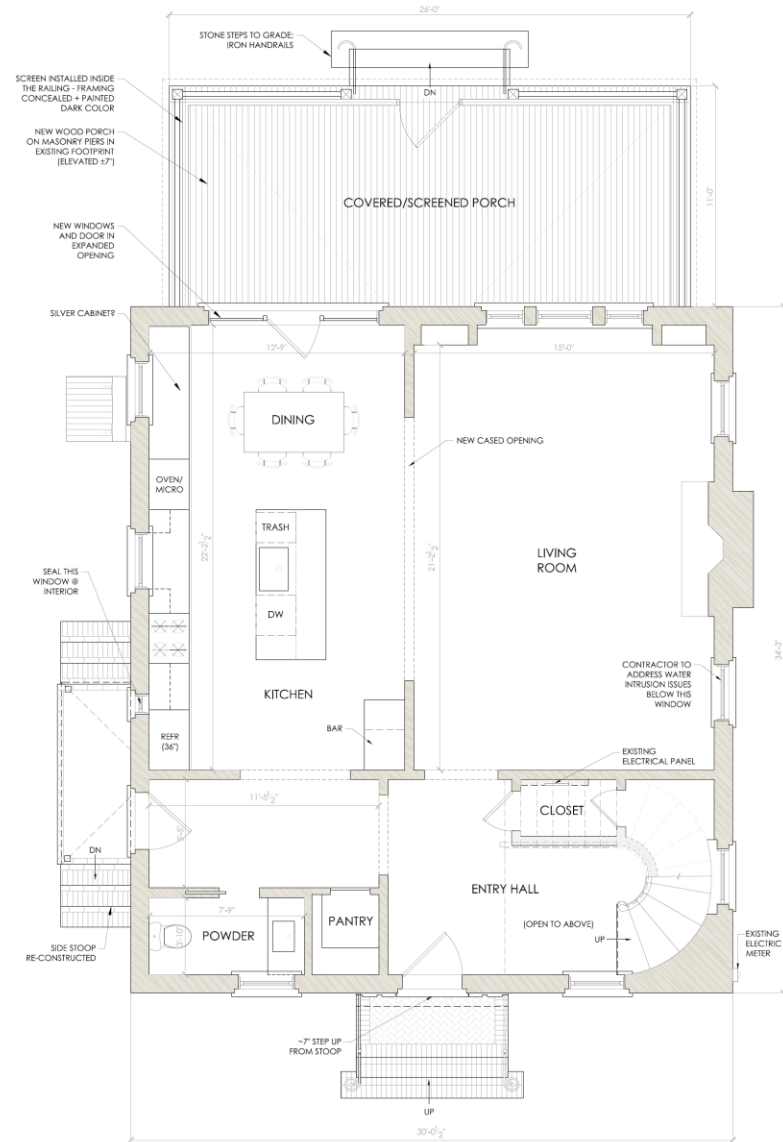
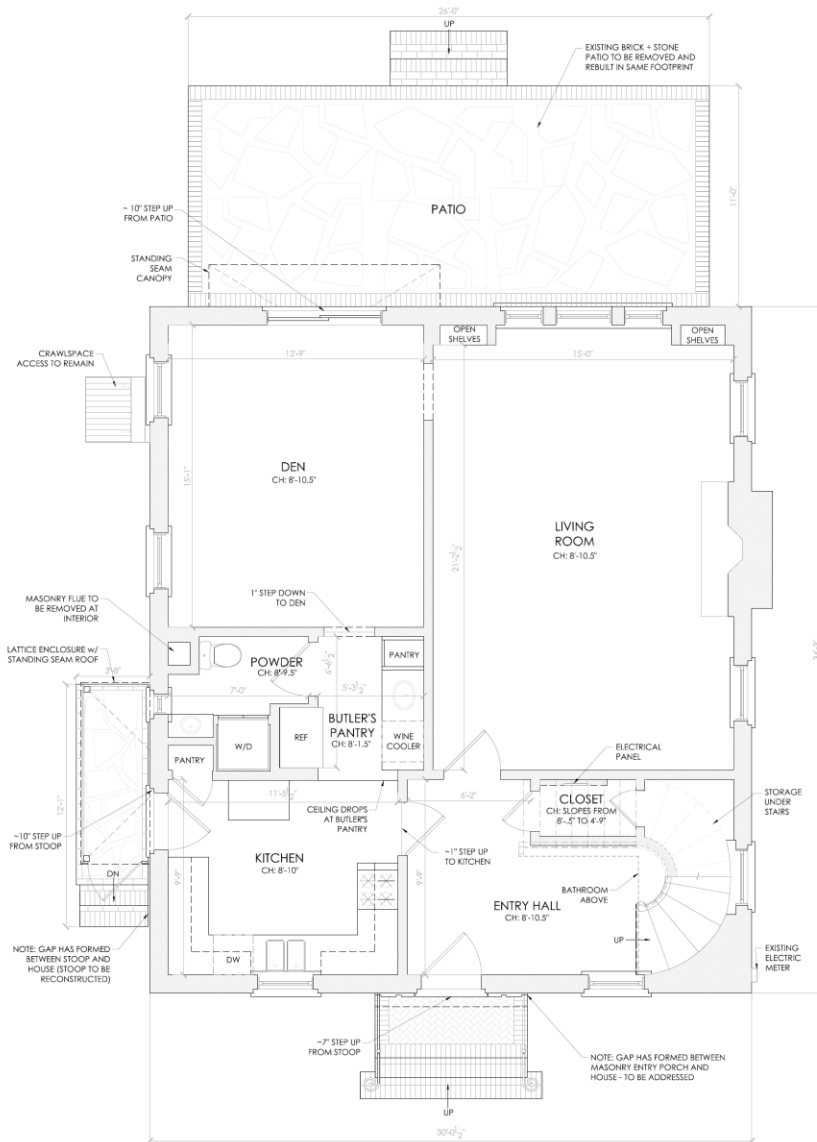
EXISTING SITE PLAN
 1/8" = 1'-0" (1/16" IF HALF-SIZED)
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 1,568 SF
 LOT SF: 5,146 SF
 EXISTING LOT COVERAGE: = 30.4%

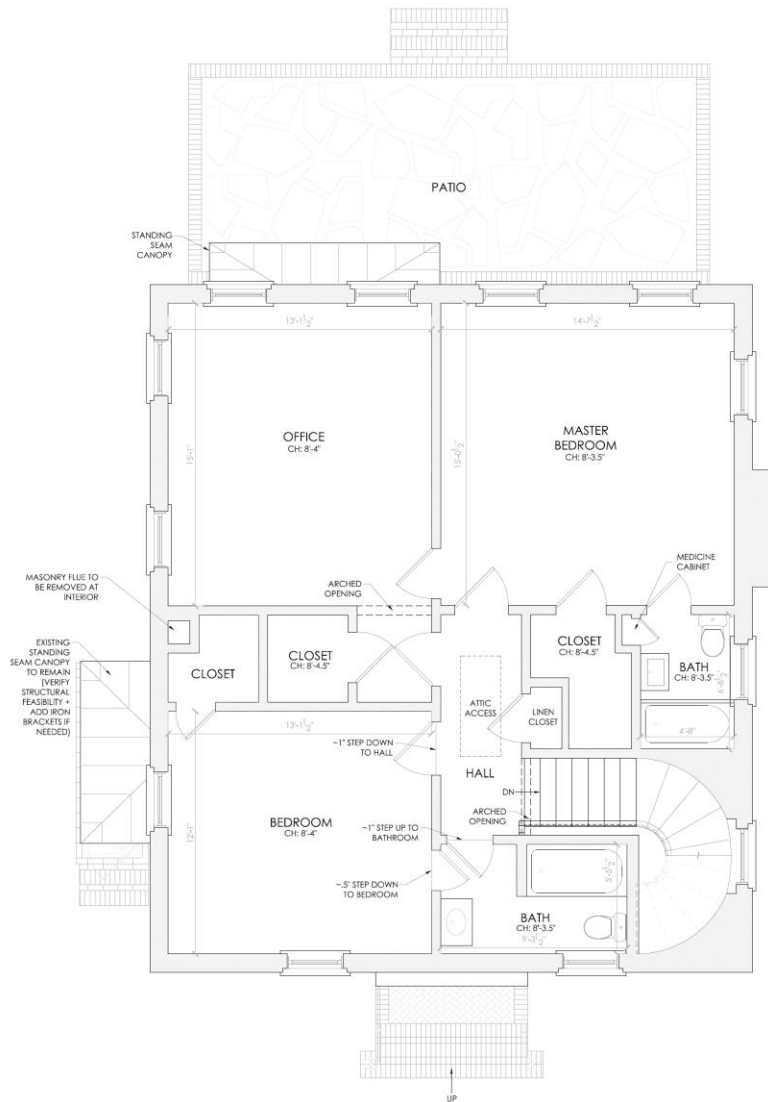


SOUTH BATTERY STREET (55' R/W)

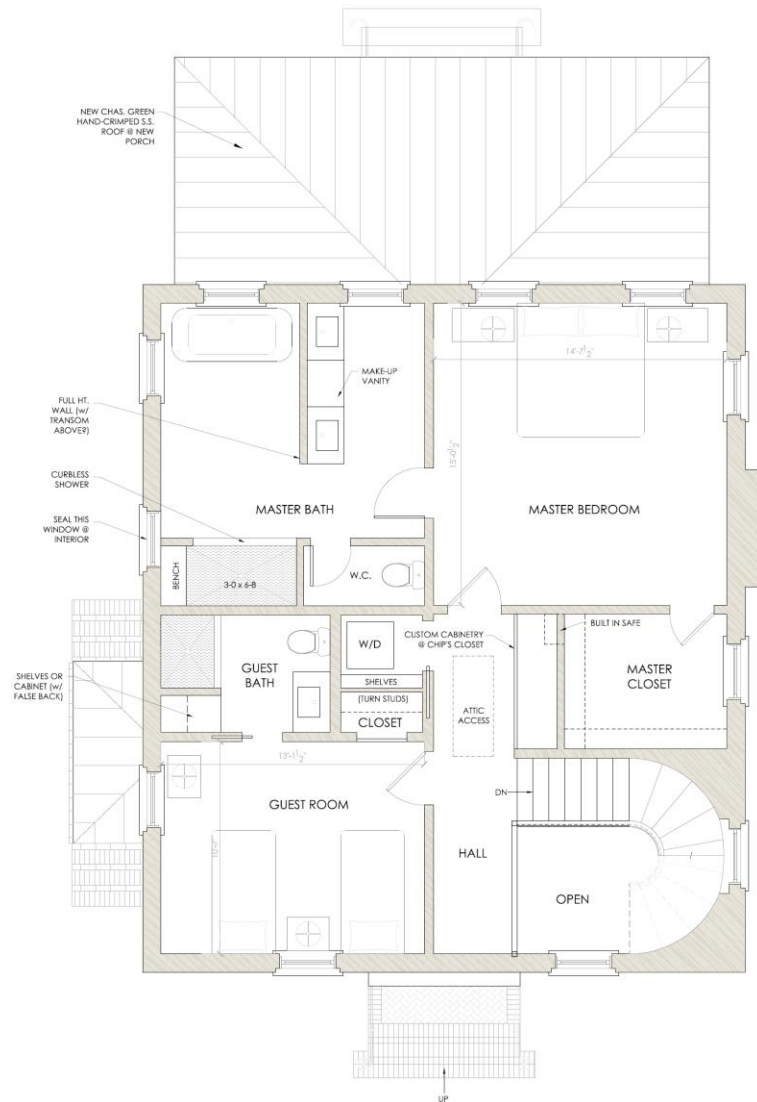
PROPOSED SITE PLAN
 1/8" = 1'-0" (1/16" IF HALF-SIZED)
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 1,580 SF
 LOT SF: 5,146 SF
 PROPOSED LOT COVERAGE: = 30.7%







EXISTING SECOND FLOOR PLAN
3/8" = 1'-0" (3/16" IF HALF-SIZED)



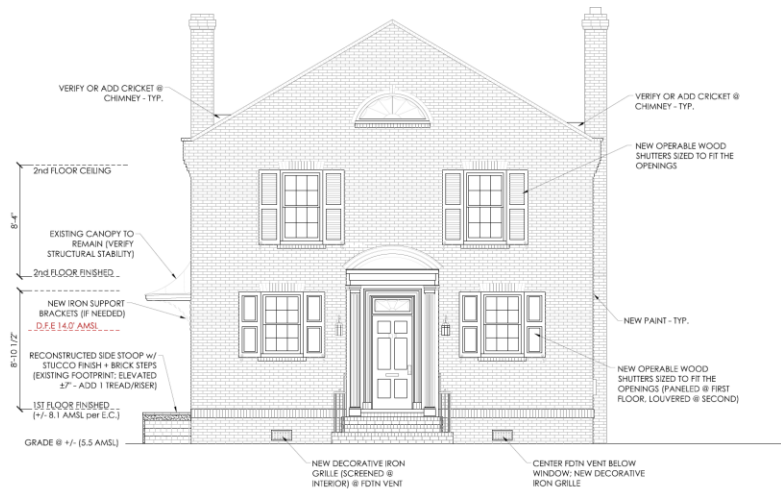
PROPOSED SECOND FLOOR PLAN
3/8" = 1'-0" (3/16" IF HALF-SIZED)



EXISTING NORTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



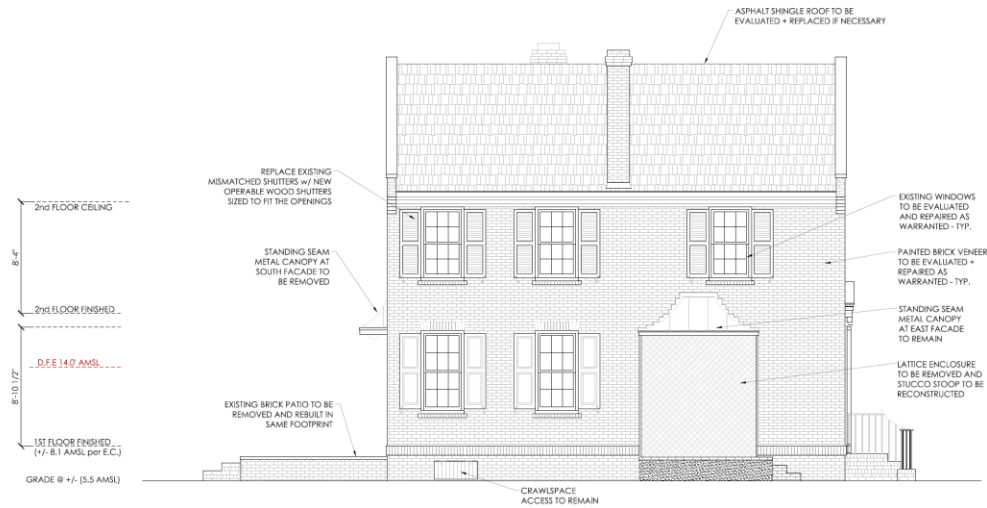
EXISTING SOUTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



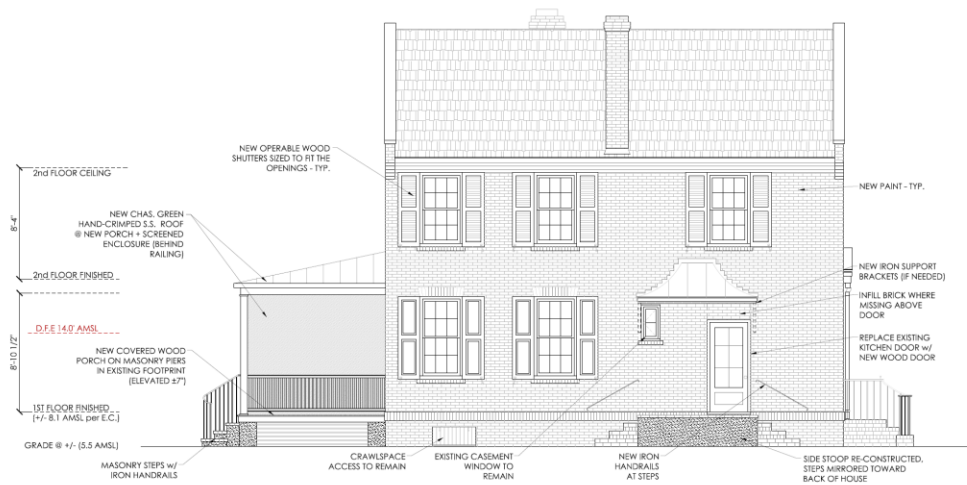
PROPOSED NORTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



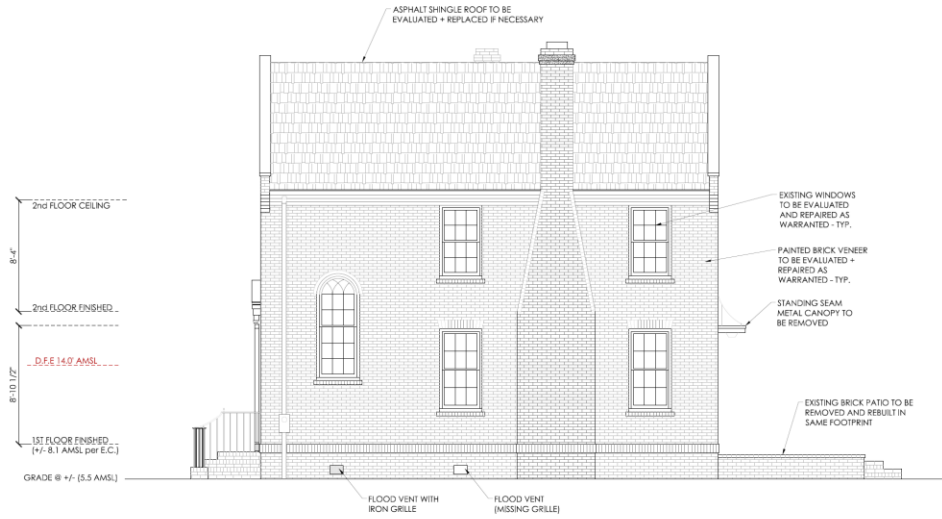
PROPOSED SOUTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING EAST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



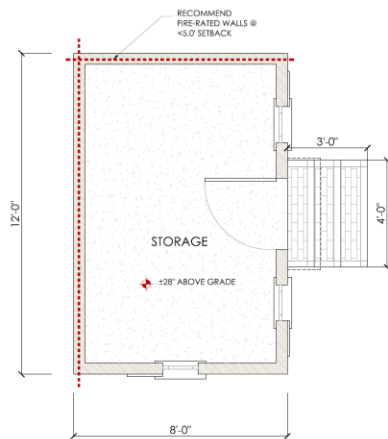
PROPOSED EAST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



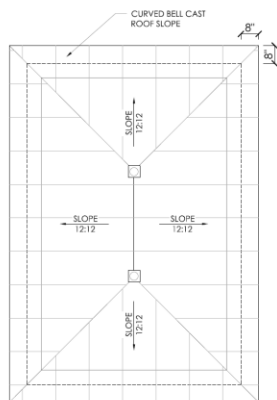
EXISTING WEST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



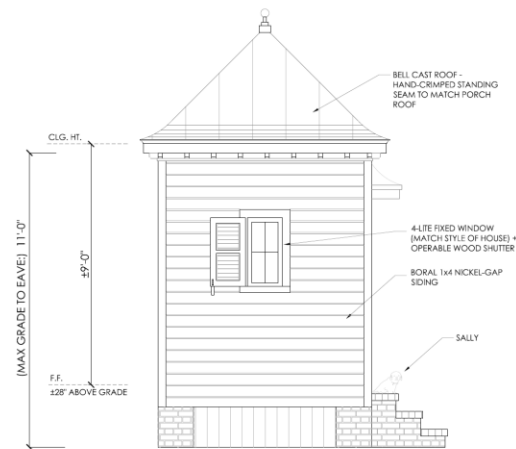
PROPOSED WEST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED PLAN
1/2" = 1'-0" (1/4" IF HALF-SIZED)



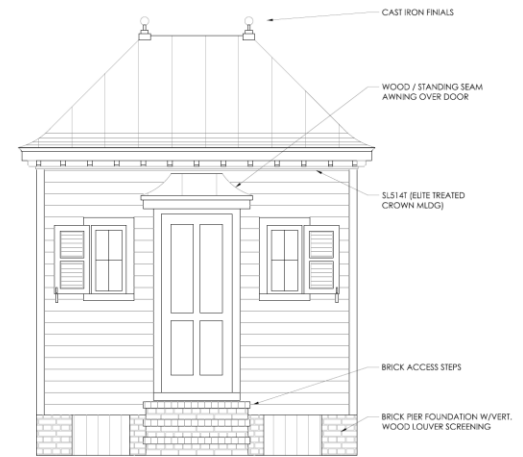
PROPOSED ROOF PLAN
1/2" = 1'-0" (1/4" IF HALF-SIZED)



NORTH ELEVATION
1/2" = 1'-0" (1/4" IF HALF-SIZED)



SOUTH ELEVATION
1/2" = 1'-0" (1/4" IF HALF-SIZED)



WEST ELEVATION
1/2" = 1'-0" (1/4" IF HALF-SIZED)



EAST ELEVATION
1/2" = 1'-0" (1/4" IF HALF-SIZED)

Agenda Item 15:

190 Tradd Street – TMS# 457-07-04-037

Request conceptual approval to elevate existing residence, modify piazza screen, replace side stairs, and add new one-story rear addition.

Category 4 / Charlestowne / c.1840 / Old and Historic District



ZONING MAP EXCERPT



AERIAL VIEW



CA. 1865



RECENT STREET VIEW, DEC. 2017

ELEVATION OF A HISTORIC HOME AT:

190 TRADD STREET

CHARLESTON, SOUTH CAROLINA

TMS #: 457-07-04-037

ZONING DISTRICT: SR-2

GOVERNING CODE: IRC 2015

FLOOD ZONE: AE(14); F.F. OF MAIN HOUSE @ 7.64' PER OWNER'S E.C.

SCOPE OF WORK:

1. ELEVATE HISTORIC RESIDENCE +/- 4.3' AND REPLACE NON-HISTORIC FOUNDATION.
2. EXTEND EXISTING PIAZZA SCREEN TO ACCOMMODATE ADDITIONAL HEIGHT AND PROVIDE NEW STAIRS AT SIDEWALK AND TO PIAZZA LEVEL.
3. INTRODUCE NEW ENTRY DOOR (EXTENDED HEIGHT) AT THE PIAZZA SCREEN.
4. REPLACE EXISTING SIDE YARD PIAZZA STEP WITH NEW STAIRS.
5. REPLACE EXISTING UTILITY CLOSET/PORCH AT REAR WITH NEW ONE-STORY MUDROOM ADDITION.
6. MISCELLANEOUS REPAIRS AND REPAINTING (TO BE HANDLED SEPARATELY, IF AT ALL).

DRAWING SCHEDULE:

A-001 TITLE + DRAWING SCHEDULE + NOTES
A-002 CONTEXT PHOTOS
A-003 HISTORIC PHOTOS + SANBORN MAPS
A-004 EXISTING CONDITIONS PHOTOGRAPHS
A-005 PREVIOUS FLOODING PHOTOGRAPHS
A-006 PRECEDENT IMAGES
A-007 EXISTING + PROPOSED SITE PLANS
A-008 EXISTING + PROPOSED FLOOR PLANS

A-102 EXISTING + PROPOSED FLOOR PLANS
A-201 ELEVATIONS (EXISTING + PROPOSED)
A-202 ELEVATIONS (EXISTING + PROPOSED)
A-203 ELEVATIONS (EXISTING + PROPOSED)
A-204 ELEVATIONS (EXISTING + PROPOSED)
A-205 STREETSCAPE ELEVATIONS (EXISTING + PROPOSED)
A-206 RENDERED VIEWS

JULIA F. MARTIN ARCHITECTS

210 BAYVIEW AVENUE, 2ND FLOOR • CHARLESTON, SC 29403
P. 803.577.2025 • WWW.JFMARCHITECTS.COM



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ELEVATION OF A HISTORIC HOME AT:
190 TRADD STREET

PROJECT NO.: 2017-36
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

TITLE

A-001



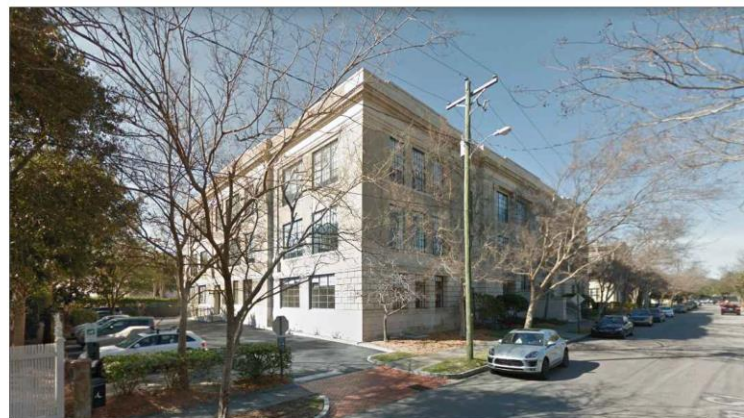
ADJACENT PROPERTIES TO THE WEST



VIEW TO THE NORTH FROM THE INTERSECTION OF SOUTH BATTERY AND TRADD



PROPERTIES ON THE OPPOSITE SIDE OF TRADD STREET



ADJACENT PROPERTY TO THE NORTH (CHISOLM SCHOOL)

JULIA F MARTIN ARCHITECTS

210 RIVERS AVENUE, 2nd FLOOR • CHARLESTON, SC 29403
PH: 853.577.0025 WWW.JFMARTINARCHITECTS.COM

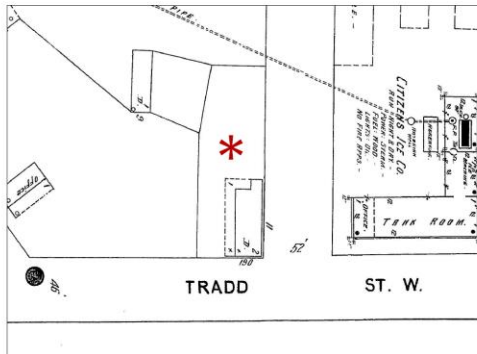
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ELEVATION OF A HISTORIC HOME AT:
190 TRADD STREET

PROJECT NO: 2017-34
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

CONTEXT
PHOTOS

A-002



SANBORN MAP EXCERPT, 1902



SANBORN MAP EXCERPT, 1944



SANBORN MAP EXCERPT, 1951



HISTORIC PHOTO, ca. 1865



BAR FILE PHOTO, ca. 1980's



BAR FILE PHOTO, ca. 1980's



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EXISTING PIAZZA SCREEN



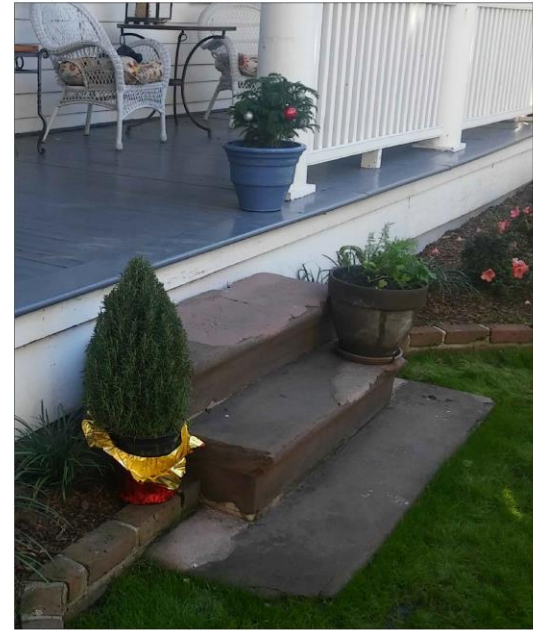
ENTRY STEPS OUTSIDE PIAZZA SCREEN



WEST FACADE + GARDEN



REAR PORCH/UTILITY CLOSET w/ HVAC ABOVE



EXISTING MASONRY STEPS @ PIAZZA



TRIM BAND DETAIL + TERMINATION @ S.E. CORNER



EAST FACADE



HVAC SCREENING FROM CHISHOLM ST.





VIEW FROM 195 TRADD LOOKING NORTHEAST TOWARDS 190 TRADD



WATER LEVEL AT GARAGE [APPROX. 38"]



DETAIL VIEW OF FLOODING ABOVE PIAZZA LEVEL



VIEW FROM CHISOLM LOOKING WEST DOWN TRADD STREET



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PIAZZA SCREEN PRECEDENT



SIMILAR INTERIOR STAIR ACCESS



PRECEDENT FOR TRADD STREET
FOUNDATION TREATMENT



PRECEDENT FOR CHISOLM STREET
FOUNDATION TREATMENT



SELECT PRECEDENTS FOR NEW EXTERIOR STAIRS (@ PIAZZA + @ REAR ADDITION)



All design recommendations are based on the information provided and do not constitute a warranty of any kind. The architect assumes no responsibility for the accuracy or completeness of these drawings.

ELEVATION OF A HISTORIC HOME AT: 190 TRADD STREET

PROJECT NO.: 2017-34
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

PRECEDENT
IMAGES

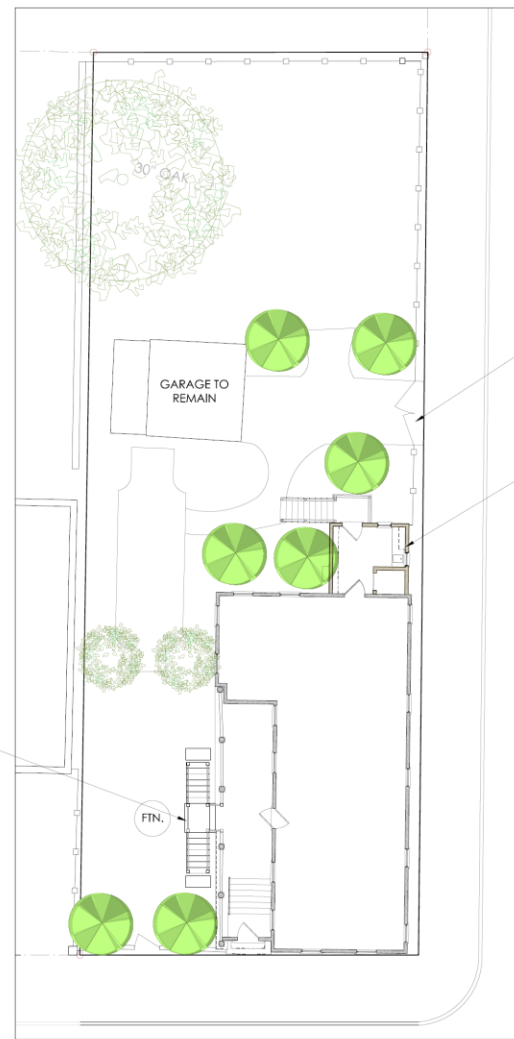
A-006



EXISTING SITE PLAN

1/8" = 1'-0" (1/16" IF HALF-SIZED)

TOTAL FOOTPRINT, incl. porches/steps/hvac - 1,911 SF
LOT SF: 6,795 SF
EXISTING LOT COVERAGE: = 28.1%

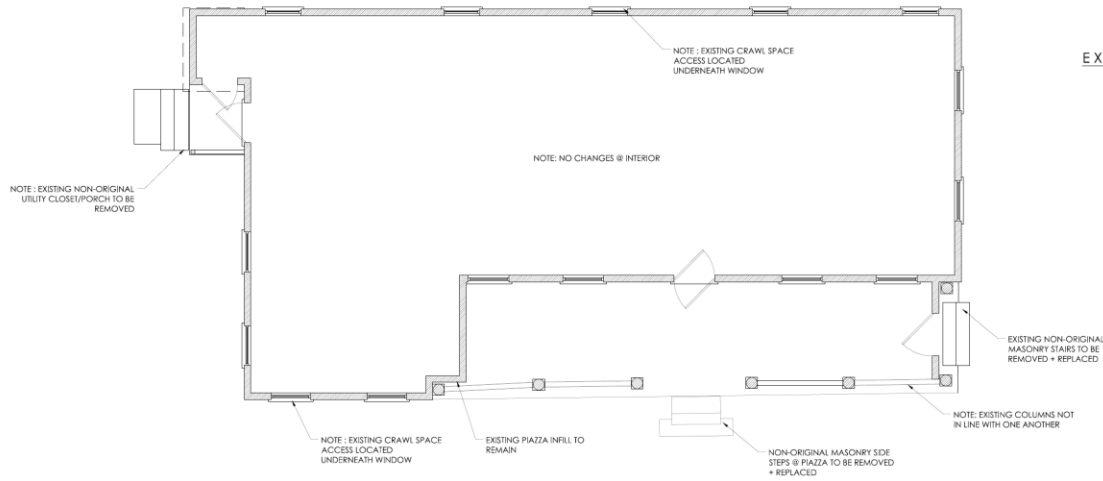


PROPOSED SITE PLAN

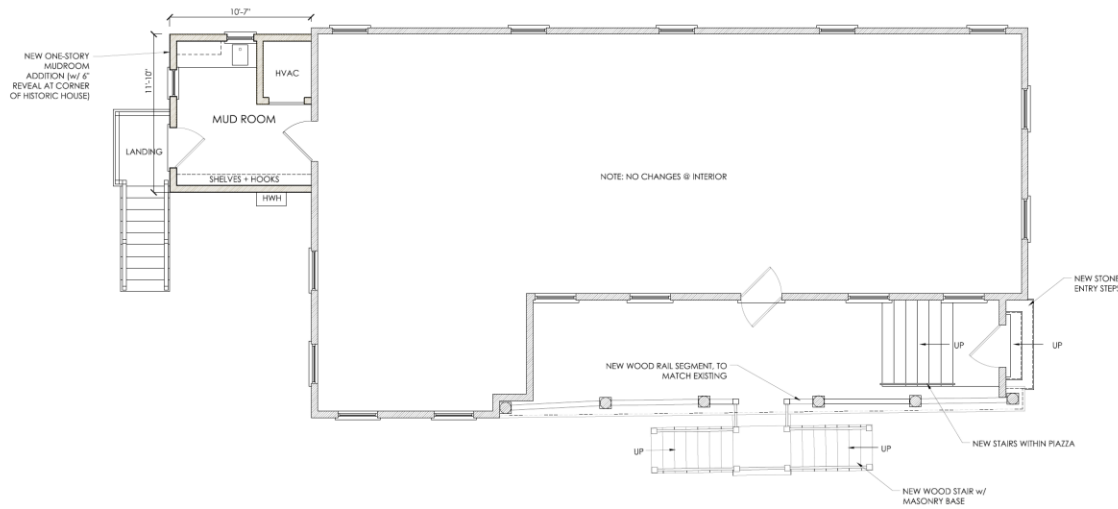
1/8" = 1'-0" (1/16" IF HALF-SIZED)

TOTAL FOOTPRINT, incl. porches/steps/hvac - 2,083 SF
LOT SF: 6,795 SF
PROPOSED LOT COVERAGE: = 30.7%

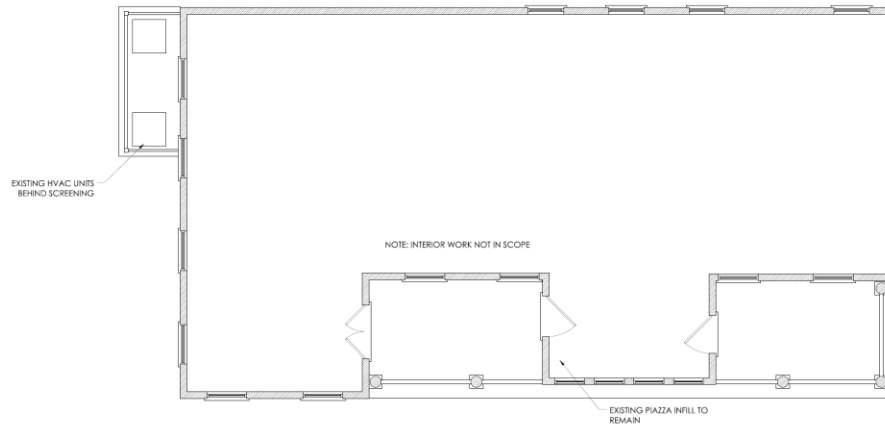




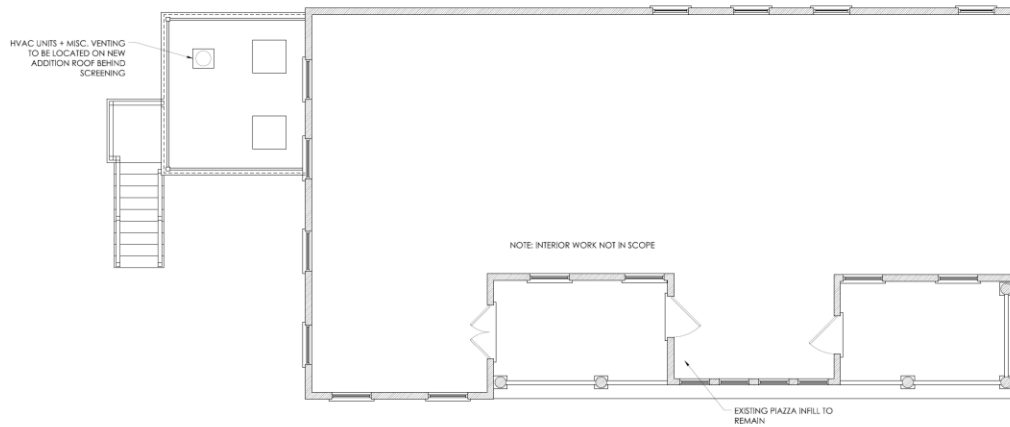
EXISTING FIRST FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING SECOND FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)





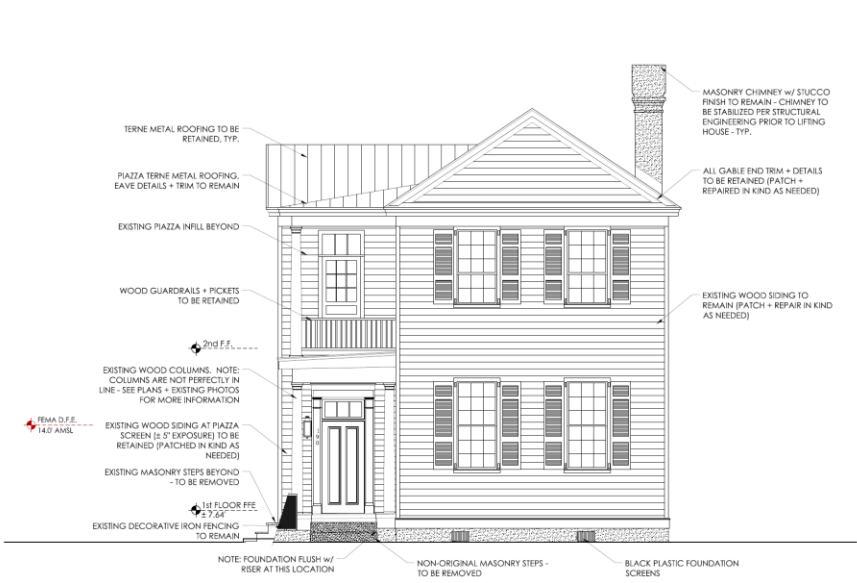
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ELEVATION OF A HISTORIC HOME AT:
 190 TRADD STREET

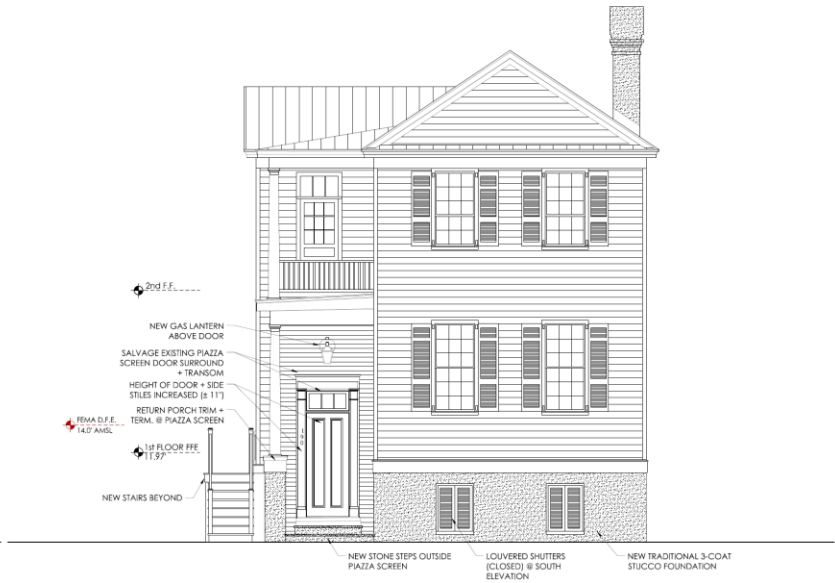
PROJECT NO.: 2017-36
 DATE: 26 JANUARY, 2018
 DRAWN BY: C.E.S./J.F.M.
 CHECKED BY: J.F.M.

ELEVATIONS
 (EXISTING +
 PROPOSED)

A-201



EXISTING SOUTH ELEVATION
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED SOUTH ELEVATION
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



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ELEVATION OF A HISTORIC HOME AT:
190 TRADD STREET

PROJECT NO.: 2017.3M
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

ELEVATIONS
(EXISTING + PROPOSED)

A-202



EXISTING WEST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED WEST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



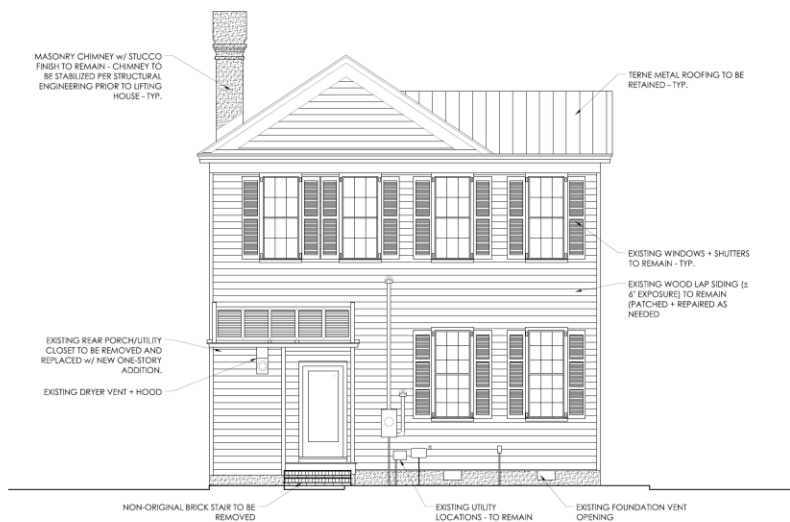
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ELEVATION OF A HISTORIC HOME AT:
190 TRADD STREET

PROJECT NO.: 2017-36
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

ELEVATIONS
(EXISTING +
PROPOSED)

A-203



EXISTING NORTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED NORTH ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING EAST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



PROPOSED EAST ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING STREETSCAPE ELEVATION
1/8" = 1'-0" (1/16" IF HALF-SIZED)



PROPOSED STREETSCAPE ELEVATION
1/8" = 1'-0" (1/16" IF HALF-SIZED)



CONCEPTUAL RENDERED VIEWS

JULIA F. MARTIN ARCHITECTS

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ELEVATION OF A HISTORIC HOME AT:
190 TRADD STREET

PROJECT NO.: 2017-36
DATE: 26 JANUARY, 2018
DRAWN BY: C.E.S./J.F.M.
CHECKED BY: J.F.M.

RENDERED
VIEWS

A-206

